

# Planning Committee

August 5<sup>th</sup> 2019

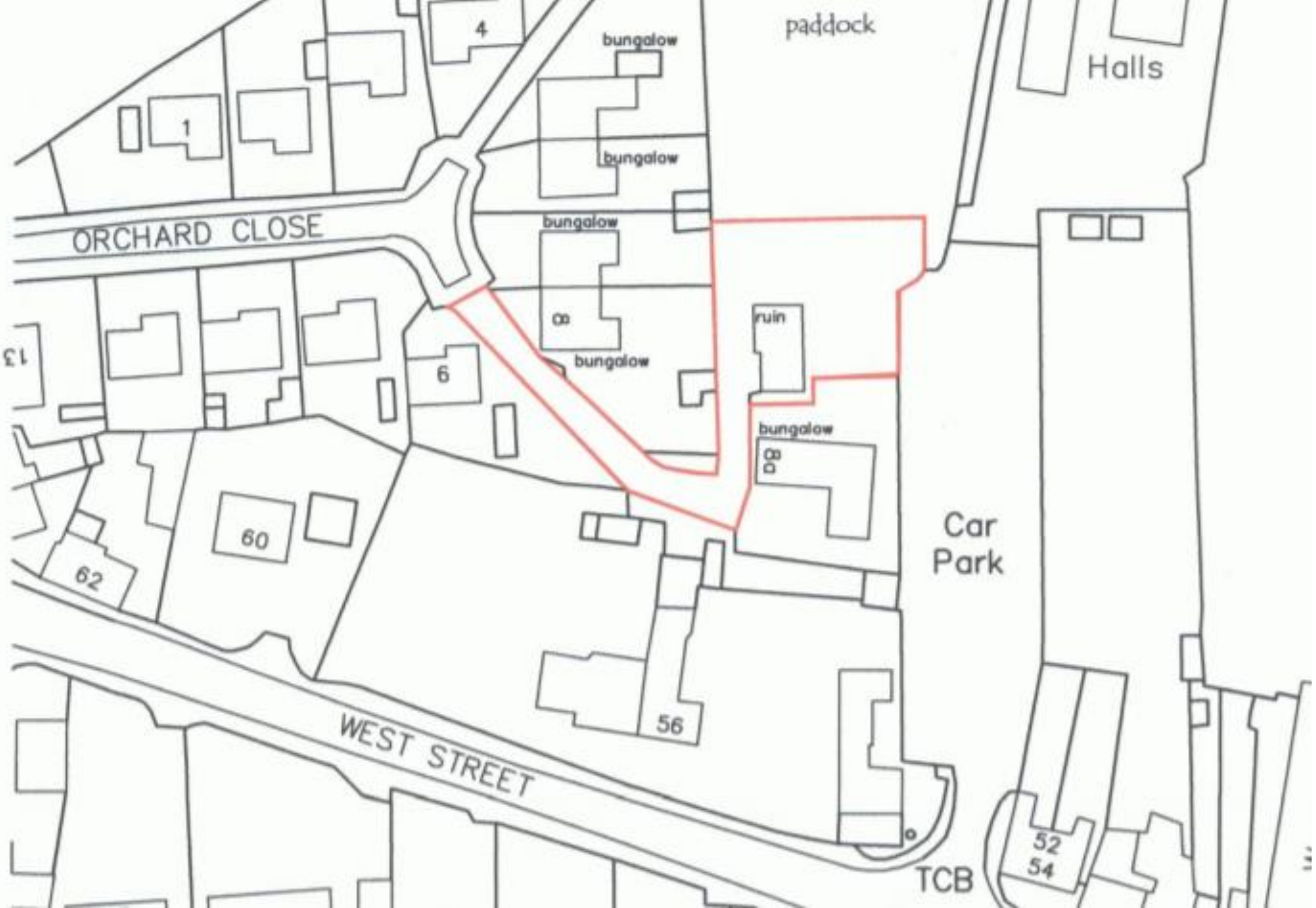
# **18/P4735/OUT- Land West of Wolverhill Road, North of Wolverhill Park and Knightcott Park.**

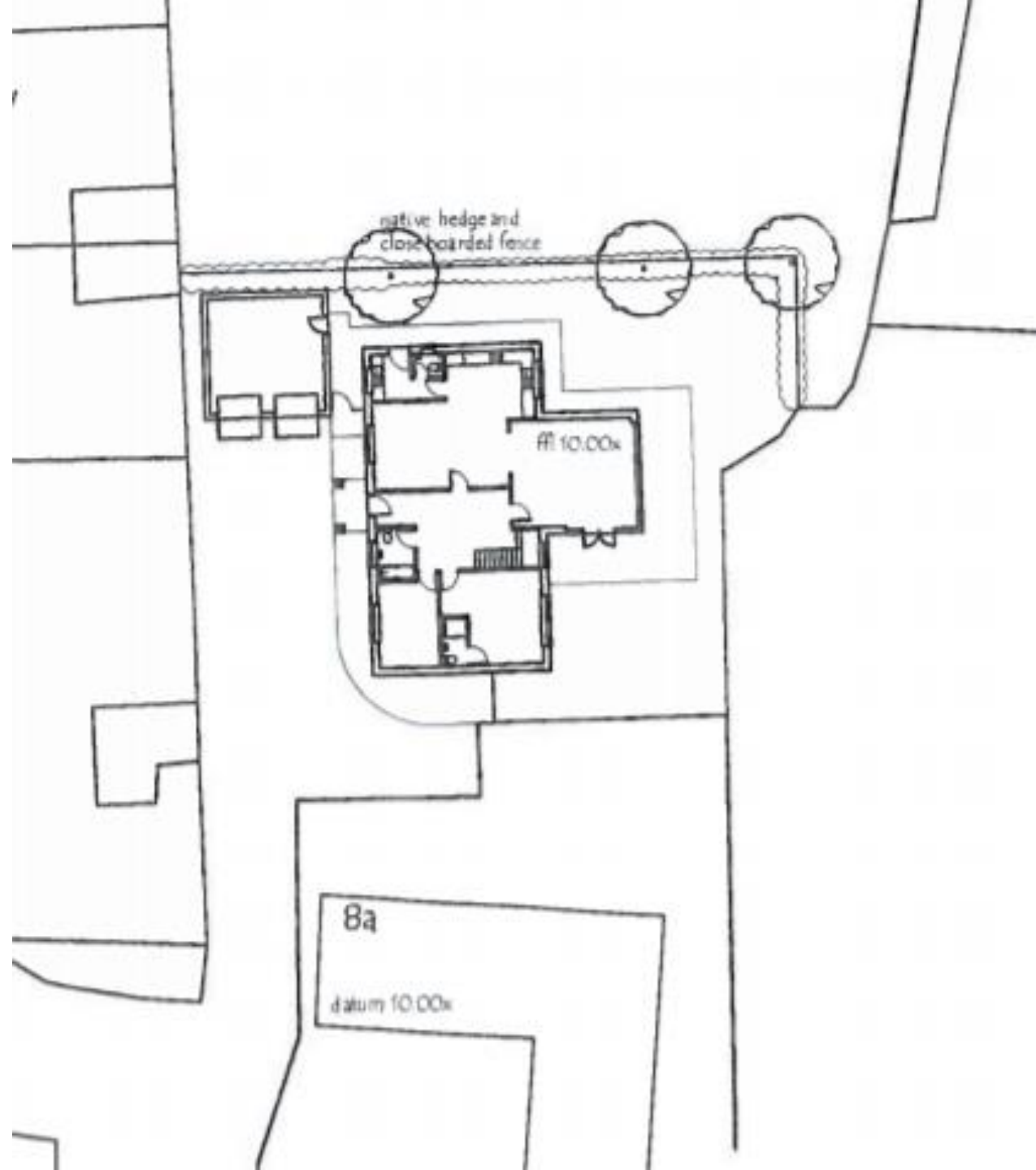
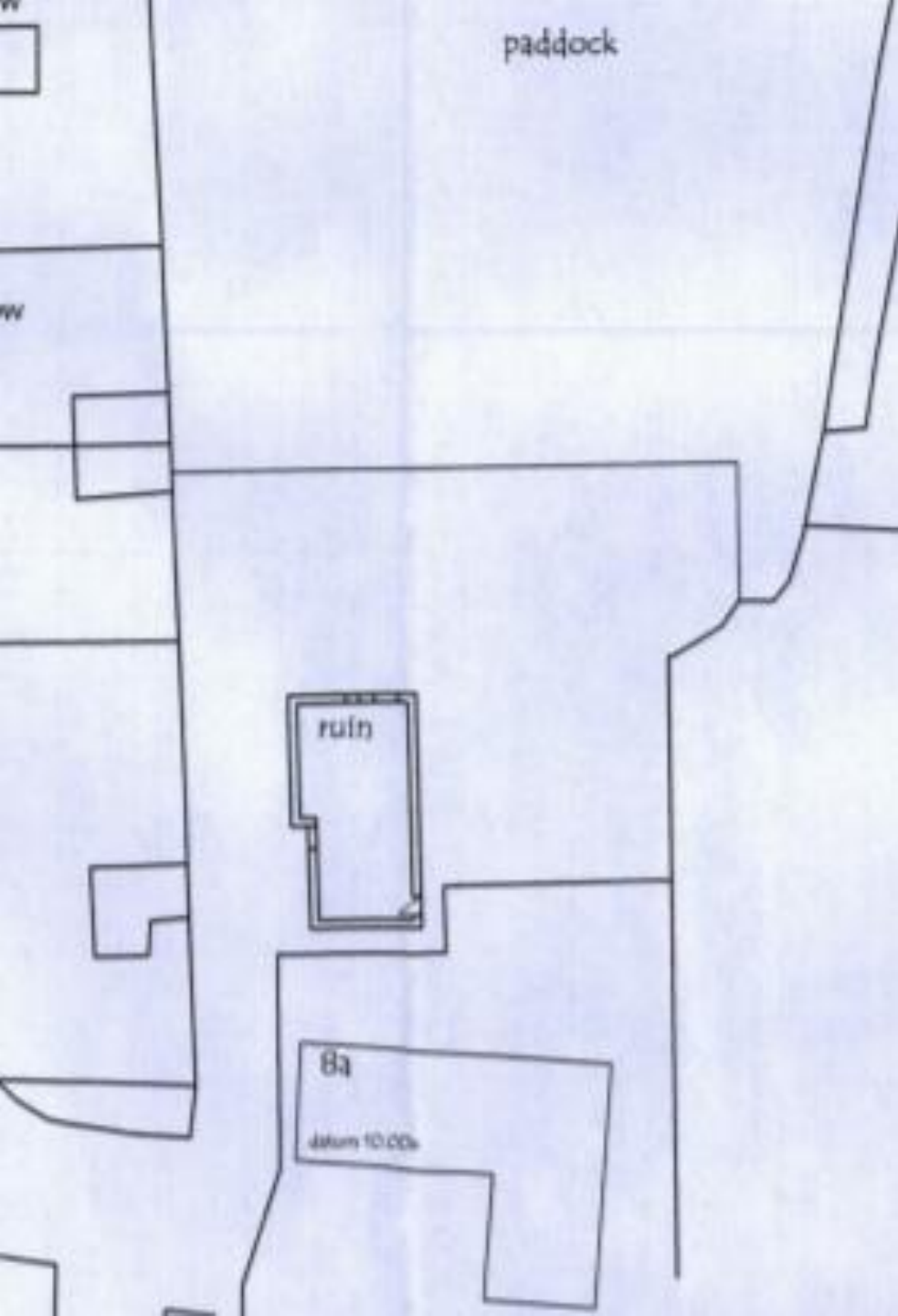
Outline planning application for the erection of up to 62no. dwellings (including 19 no. affordable housing units (30%)), along with the provision of informal public open space and associated works. Access from Wolverhill Road for approval with appearance, landscaping, layout and scale reserved for subsequent approval.

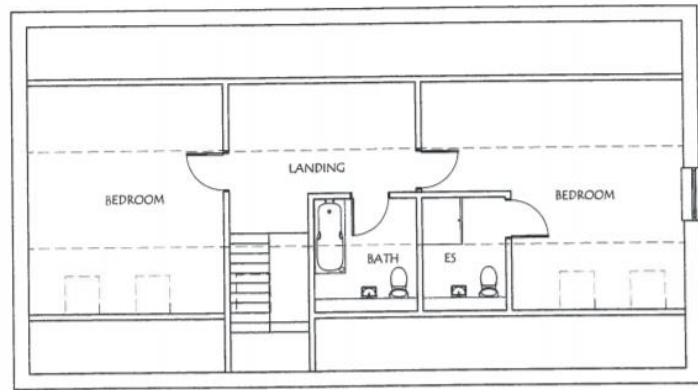
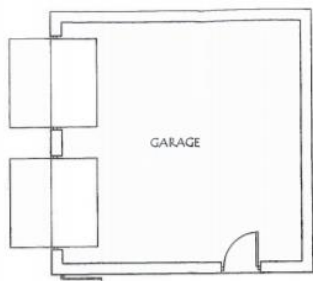
Documents in association  
with this planning  
application to be uploaded  
by 3pm on the 01/08/2019

# **19/P/0429/FUL - Land At Orchard Close Banwell.**

Proposed removal of ruin and erection of three  
bedroom bungalow and garage.







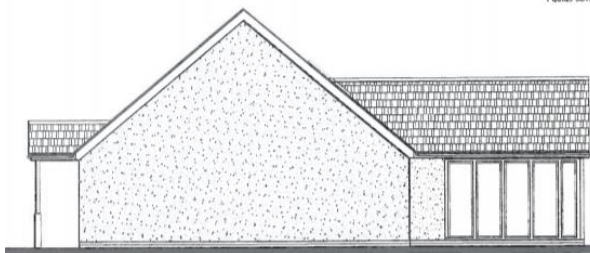
Phil Reddish BSc (hons) Design Limited  
Proposed Development  
at  
Orchard Close, Banwell, North Somerset



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

Roof concrete interlocking tiles farmhouse red  
Walls patted render off white in a facing brick plinth  
Windows and doors white pvcu  
Facias soffits and rainwater goods H&K pvcu



EAST ELEVATION

# **19/P/1357/MMA - Land South of Churchland Way, Wolvershill Road, Banwell.**

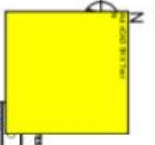
Minor material amendment to application 17/P/5586/RM (reserved matters application for access, appearance, landscaping, layout and scale for the erection of 223 dwellings with associated access, roads, footways, parking, drainage and landscaping pursuant to outline planning permission 12/P/1266/OT2) to change house types PB35G, PT42 and PC41 with house types NB31-7, NT41-7 and NC40 and replace house type 2BWCH on plots 70 & 71 only with house type 1470 WC on approved plans.



NO.	DESCRIPTION	QTY	UNIT	TOTAL
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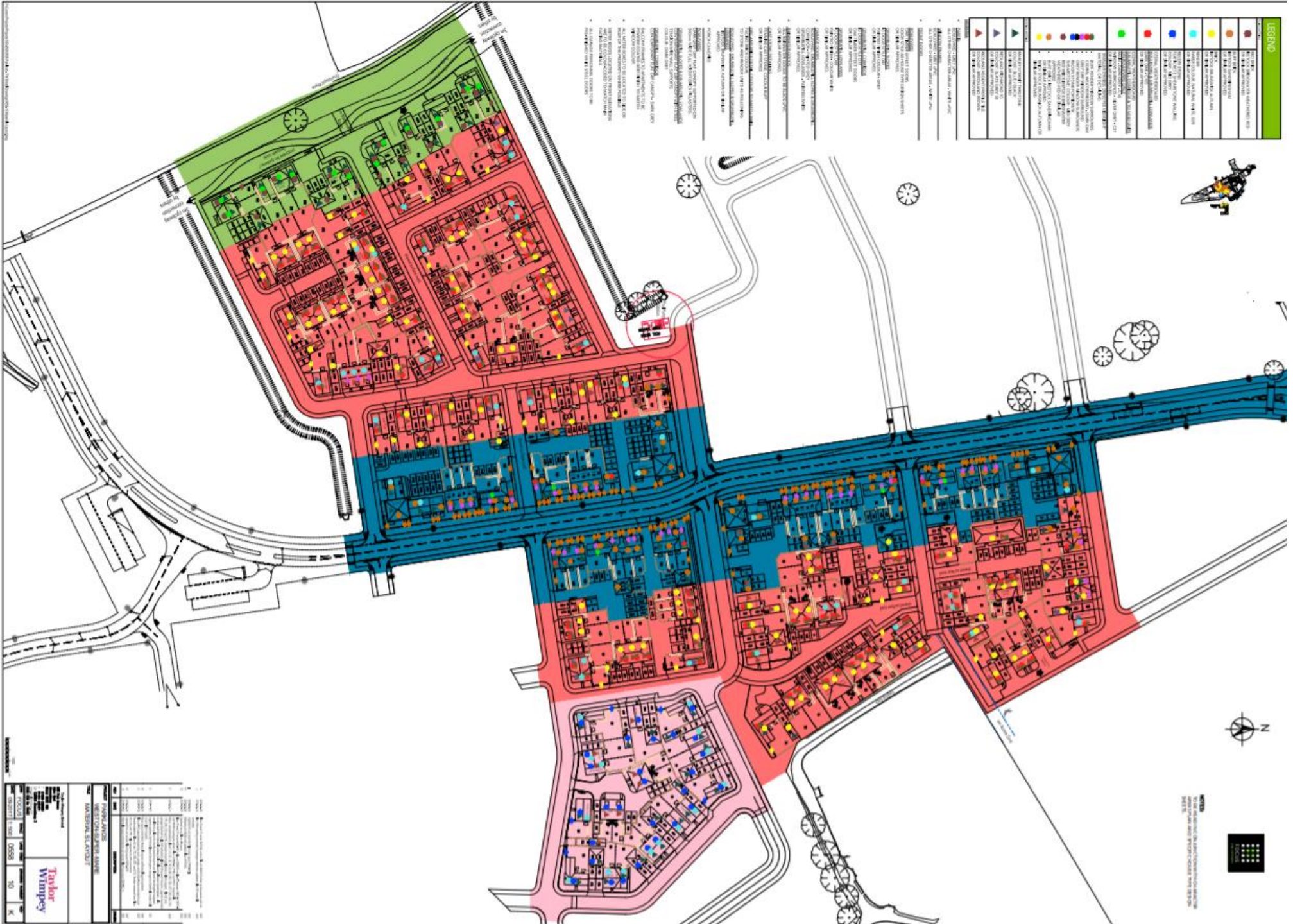
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 1:500  
 2021

**Taylor Wimpey**  
 PLANNING & ARCHITECTURE

PAVING LAYOUT  
 WESTON COLLEGE  
 PLANNING & ARCHITECTURE



**LEGEND**

	LOT 1 - 1000 SQM (250' x 40')
	LOT 2 - 1000 SQM (250' x 40')
	LOT 3 - 1000 SQM (250' x 40')
	LOT 4 - 1000 SQM (250' x 40')
	LOT 5 - 1000 SQM (250' x 40')
	LOT 6 - 1000 SQM (250' x 40')
	LOT 7 - 1000 SQM (250' x 40')
	LOT 8 - 1000 SQM (250' x 40')
	LOT 9 - 1000 SQM (250' x 40')
	LOT 10 - 1000 SQM (250' x 40')
	LOT 11 - 1000 SQM (250' x 40')
	LOT 12 - 1000 SQM (250' x 40')
	LOT 13 - 1000 SQM (250' x 40')
	LOT 14 - 1000 SQM (250' x 40')
	LOT 15 - 1000 SQM (250' x 40')
	LOT 16 - 1000 SQM (250' x 40')
	LOT 17 - 1000 SQM (250' x 40')
	LOT 18 - 1000 SQM (250' x 40')
	LOT 19 - 1000 SQM (250' x 40')
	LOT 20 - 1000 SQM (250' x 40')

- 1. LOT 1 - 1000 SQM (250' x 40')
- 2. LOT 2 - 1000 SQM (250' x 40')
- 3. LOT 3 - 1000 SQM (250' x 40')
- 4. LOT 4 - 1000 SQM (250' x 40')
- 5. LOT 5 - 1000 SQM (250' x 40')
- 6. LOT 6 - 1000 SQM (250' x 40')
- 7. LOT 7 - 1000 SQM (250' x 40')
- 8. LOT 8 - 1000 SQM (250' x 40')
- 9. LOT 9 - 1000 SQM (250' x 40')
- 10. LOT 10 - 1000 SQM (250' x 40')
- 11. LOT 11 - 1000 SQM (250' x 40')
- 12. LOT 12 - 1000 SQM (250' x 40')
- 13. LOT 13 - 1000 SQM (250' x 40')
- 14. LOT 14 - 1000 SQM (250' x 40')
- 15. LOT 15 - 1000 SQM (250' x 40')
- 16. LOT 16 - 1000 SQM (250' x 40')
- 17. LOT 17 - 1000 SQM (250' x 40')
- 18. LOT 18 - 1000 SQM (250' x 40')
- 19. LOT 19 - 1000 SQM (250' x 40')
- 20. LOT 20 - 1000 SQM (250' x 40')

**Taylor Wimpey**

PROPERTY: [Name]  
 ADDRESS: [Address]  
 DATE: [Date]

Scale: 1:500

Project No: [Number]

Site No: [Number]



SCALE: 1:500  
 DATE: [Date]  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

# Sample design of 2 bed apartments

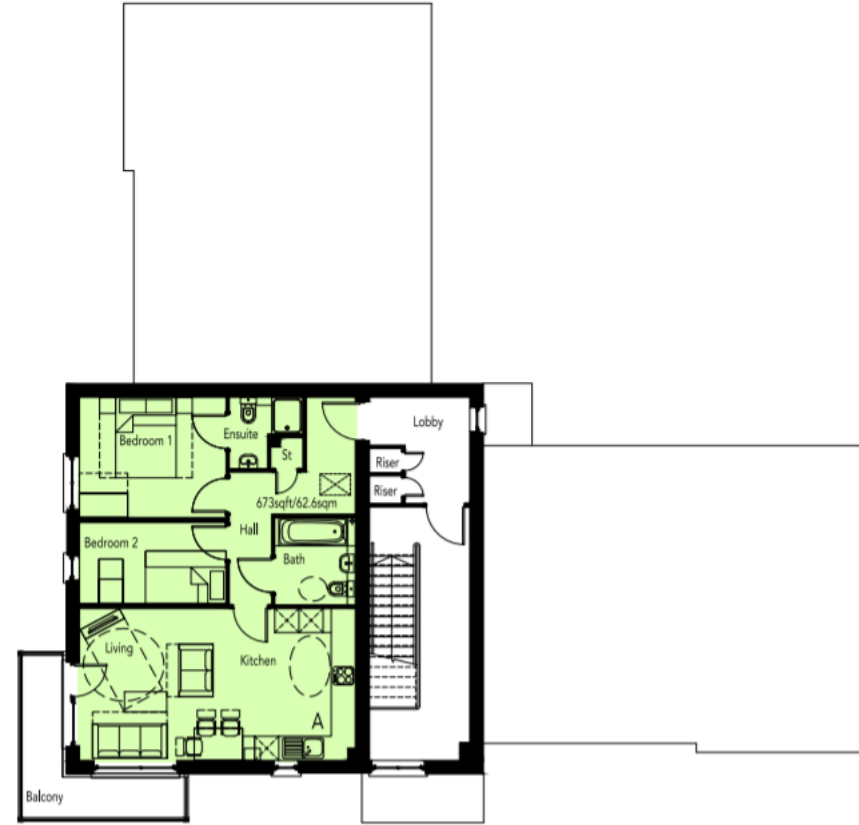


ELEVATION TO BOULEVARD

Windows not applicable to Flors 1-10 and 117-126.



FIRST FLOOR PLAN



THIRD FLOOR PLAN

Windows not applicable to Flors 1-10 and 117-126.



GROUND FLOOR PLAN



SECOND FLOOR PLAN



FRONT ELEVATION

SIDE ELEVATION

Sample 3  
bed house



REAR ELEVATION

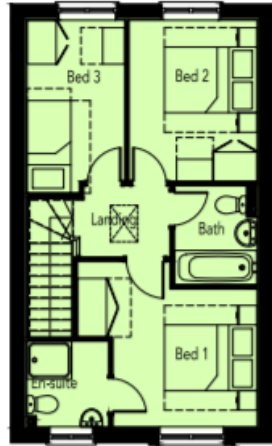
SIDE ELEVATION

Sample 2  
bed house

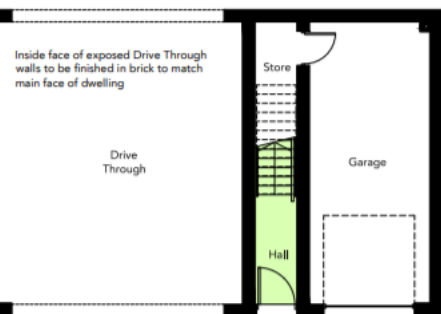


FRONT ELEVATION

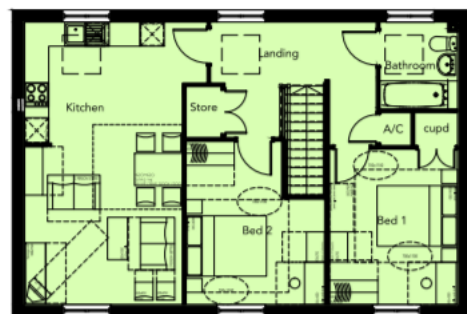
SIDE ELEVATION



FIRST FLOOR PLAN



GROUND FLOOR PLAN

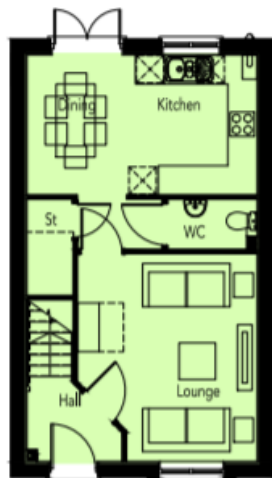


FIRST FLOOR PLAN



REAR ELEVATION

SIDE ELEVATION



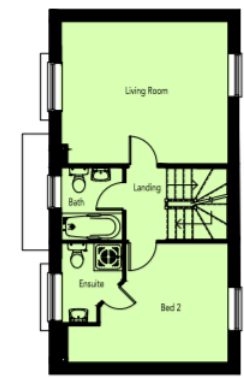
GROUND FLOOR PLAN

# Sample 4 bed houses

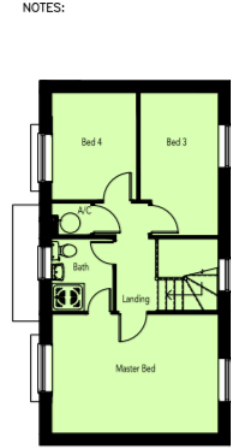


FRONT ELEVATION

SIDE ELEVATION



FIRST FLOOR PLAN



SECOND FLOOR PLAN

4 BED HOUSE  
3 STOREY  
OPEN MARKET  
1418 SQFT

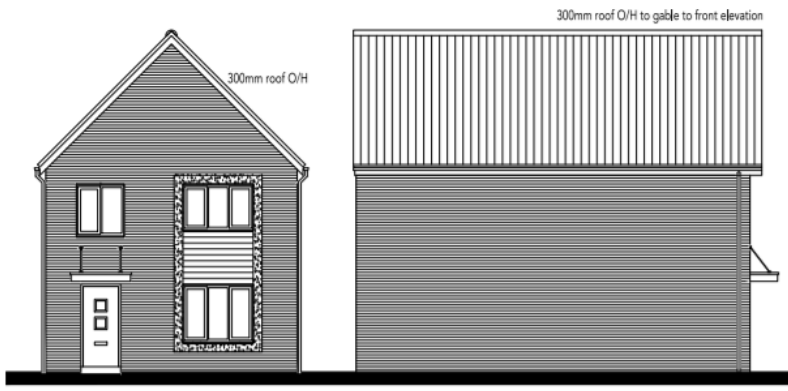
REV	DATE	DESCRIPTION
1	20/03/24	Issuance reference addit

PROJECT PARKLANDS  
WESTON-SUPER-MARE

TITLE H1418  
ELEVATIONS  
PLOTS 33, 39, 105, 130 & 140

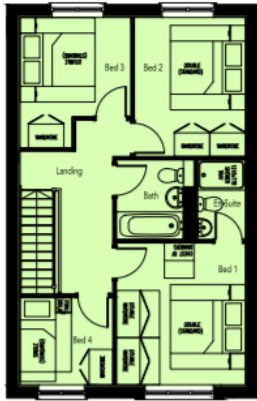
Taylor Wimpey Bristol  
600 Park Avenue  
Astic West  
Almondsbury  
Bristol BS32 4SD  
T 01454 628400  
F 01454 628401  
DK 124894 Almondsbury 3  
www.taylorwimpey.com  
NHBC REG No 76463

DRN DJE-FOD SCALE LAND CODE DRAWING N/A



FRONT ELEVATION

SIDE ELEVATION

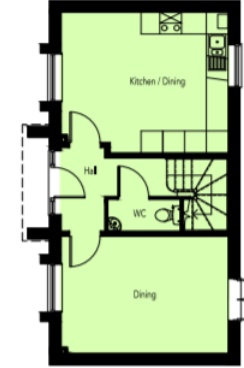


FIRST FLOOR PLAN



REAR ELEVATION

SIDE ELEVATION



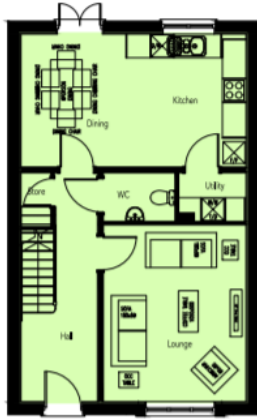
GROUND FLOOR PLAN

1:100



REAR ELEVATION

SIDE ELEVATION



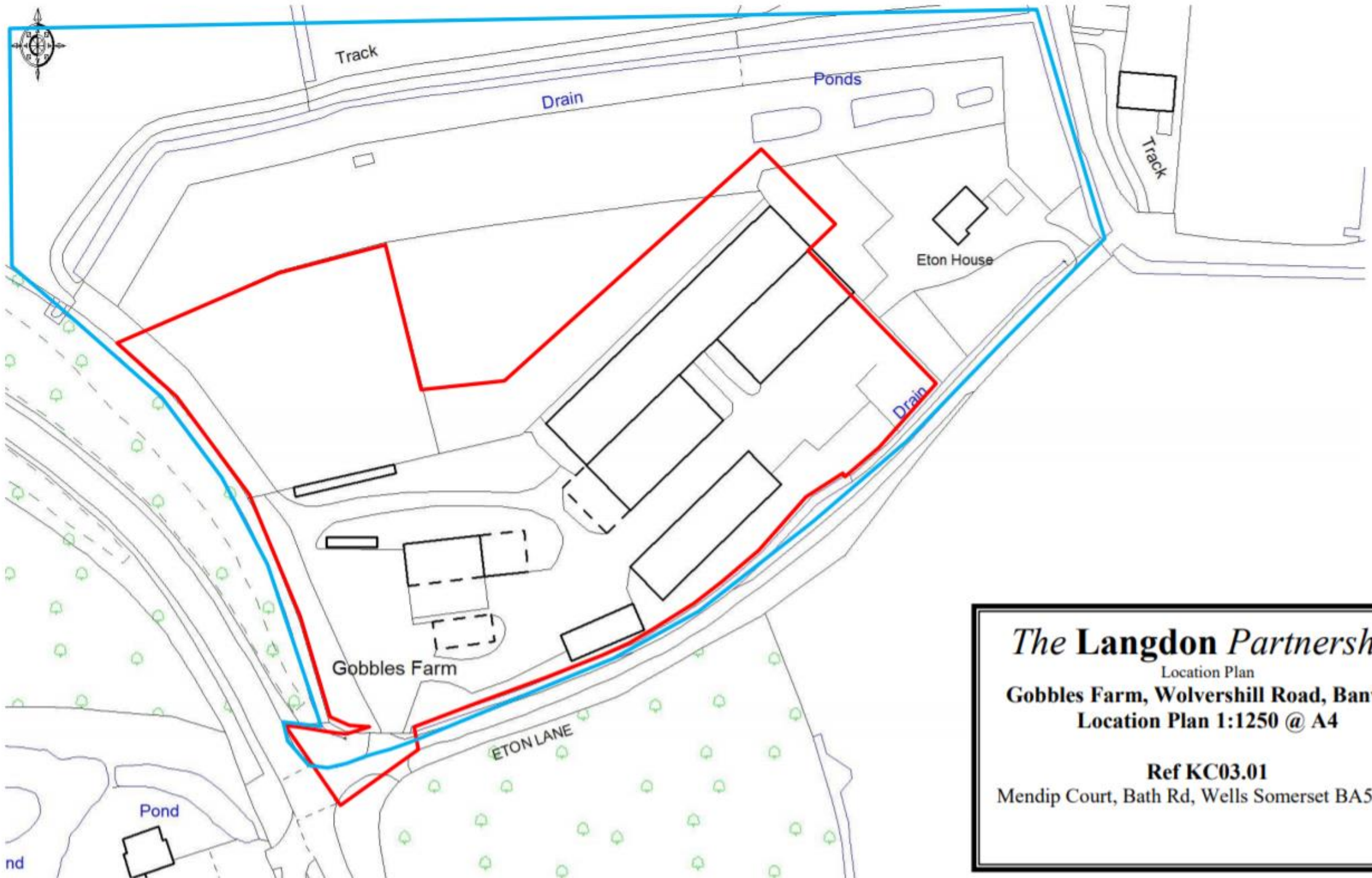
GROUND FLOOR PLAN

4 BED HOUSE  
2 STOREY  
OPEN MARKET  
1:100



# **19/P/1411/FUL - Gobbles Farm Wolvershill Road Banwell.**

Retrospective application for: change of use of 3 no. agricultural buildings to storage (Use Class B8); and 1 no. building to Gym (Use Class D2 (Assembly and Leisure)); External storage, container storage and HGV parking. Retention of storage building (Use Class B8) and stationing of mobile home. Proposed erection of replacement storage building (Use Class B8); extension to existing storage building; construction of farm track and widening of existing access onto Wolvershill Road.



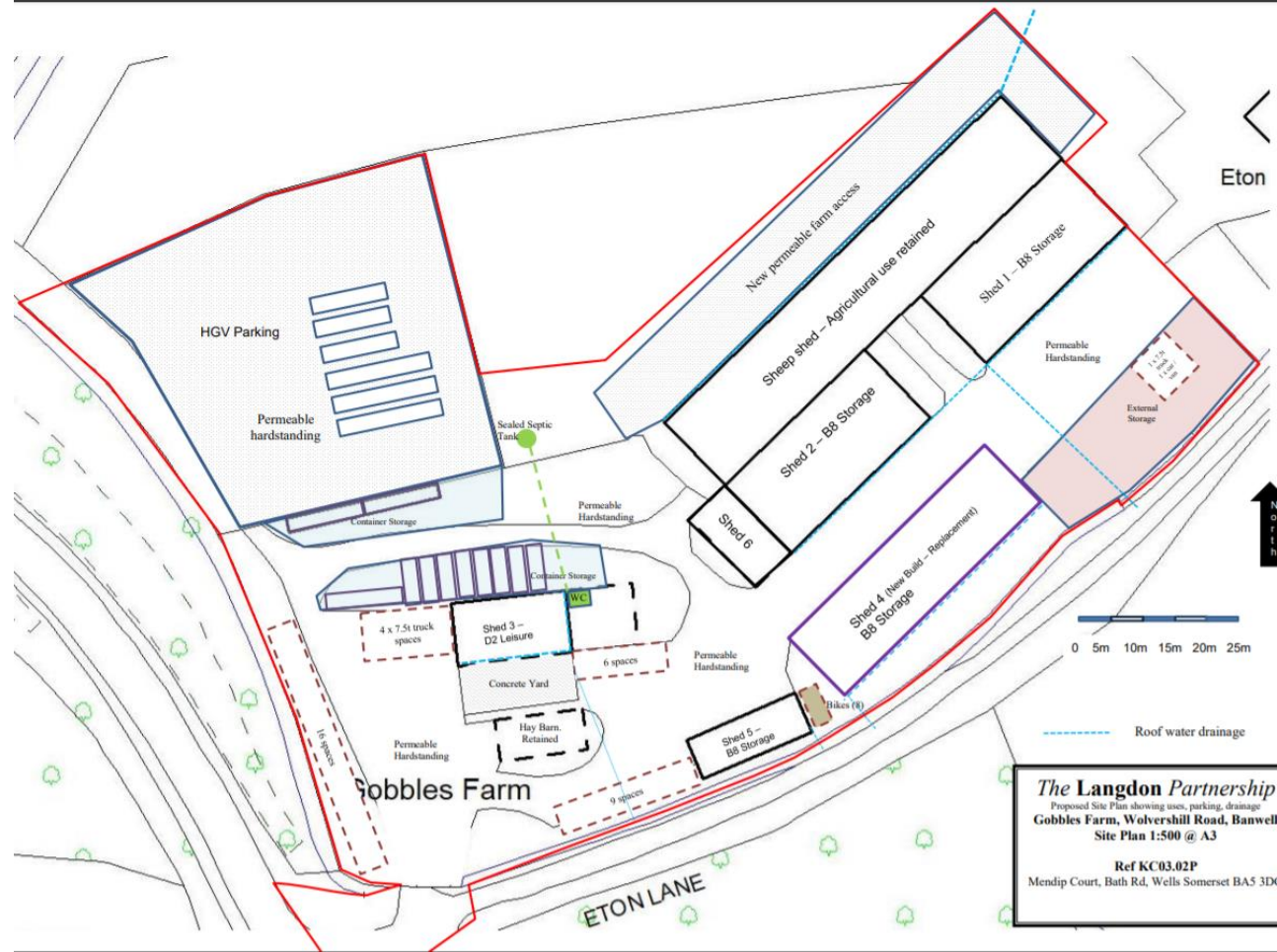
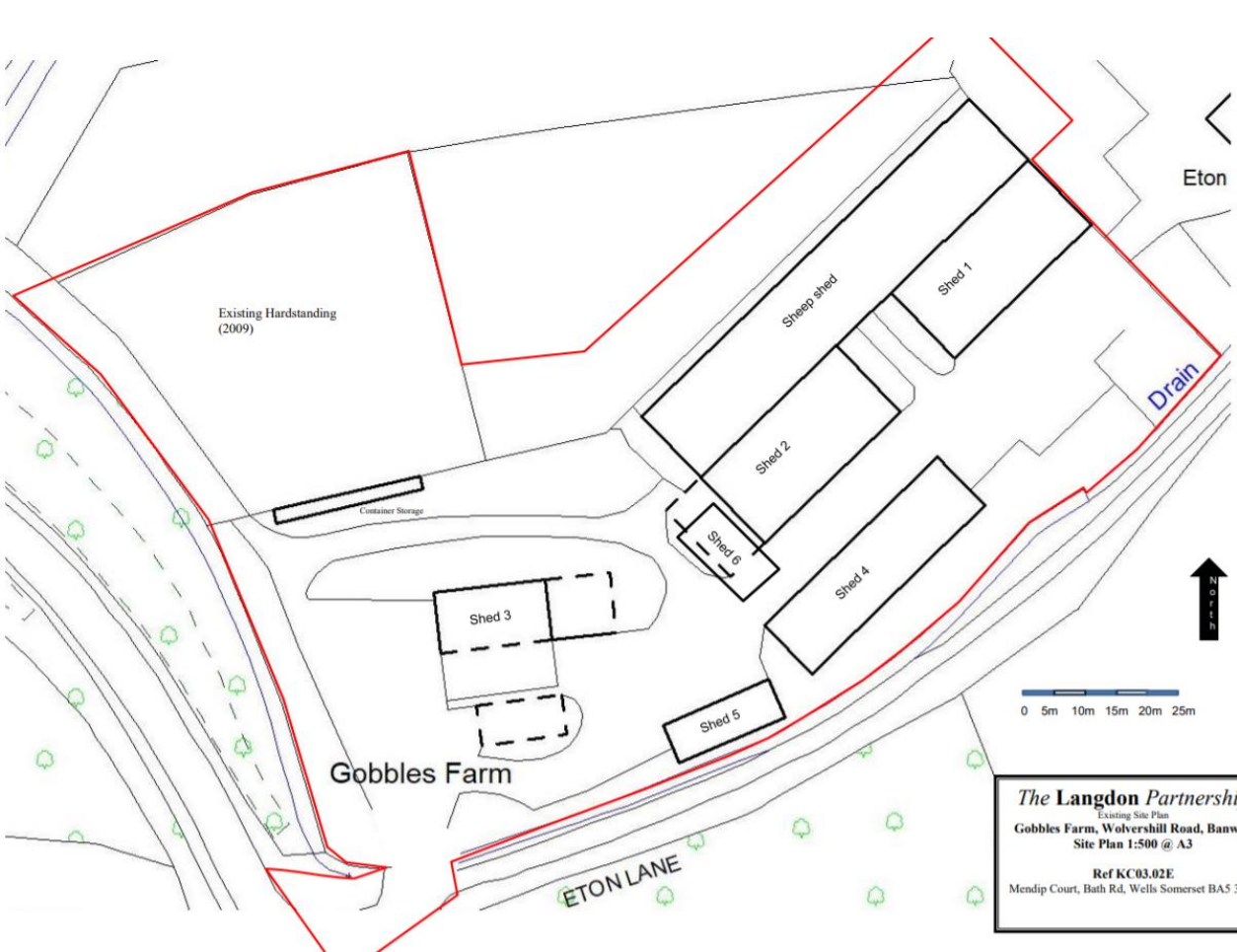
***The Langdon Partnership***

Location Plan

**Gobbles Farm, Wolvershill Road, Banwell  
Location Plan 1:1250 @ A4**

**Ref KC03.01**

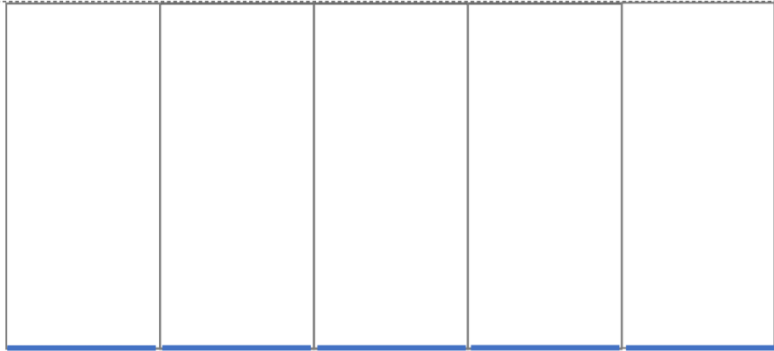
Mendip Court, Bath Rd, Wells Somerset BA5 3DG



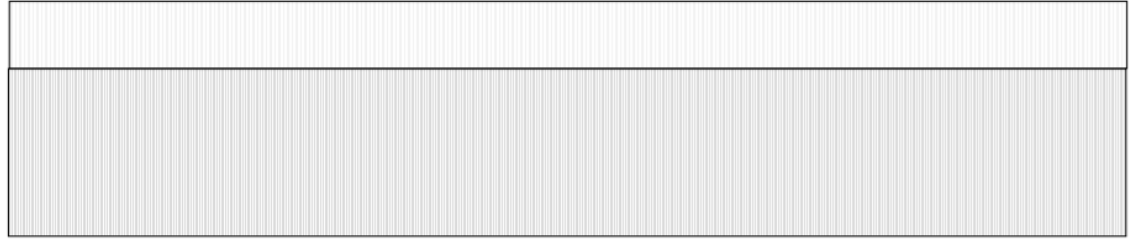
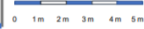
Retained Agricultural Building



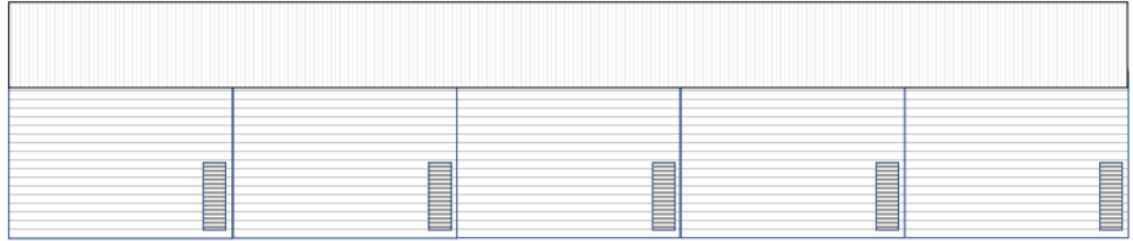
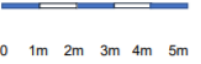
**The Langdon Partnership**  
No. 1 and 2 Mendip Road, Banwell  
Gobbles Farm, Wells Somerset BA5 3DG  
Existing and Proposed Floorplan 1:100 @ A3  
(note Sheds 1 and 2 are identical)  
Ref: KC03/0  
Mendip Court, Bath Rd, Wells Somerset BA5 3DG



South elevation

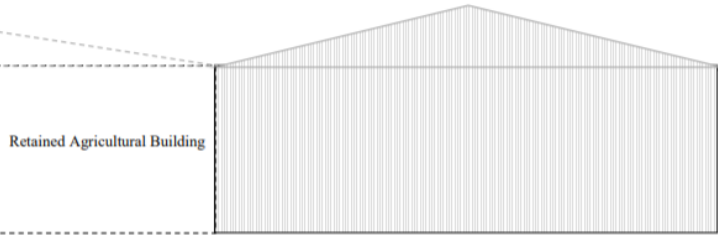


Sheds 1 and 2 North elevation

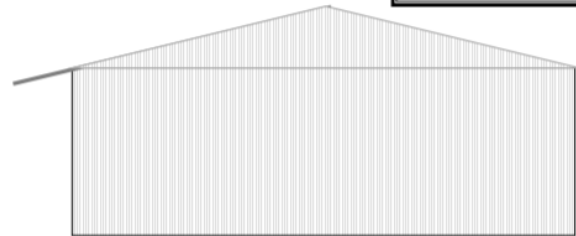


Sheds 1 and 2 South elevation

**The Langdon Partnership**  
Gobbles Farm, Wobershill Road, Banwell  
Sheds 1 and 2 Elevations (existing and proposed) 1:100 @ A3  
(note Sheds 1 and 2 are identical)  
Ref: KC03/03  
Mendip Court, Bath Rd, Wells Somerset BA5 3DG

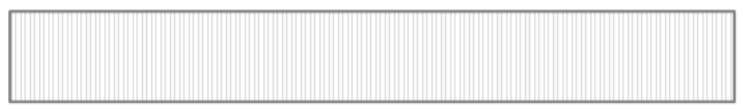
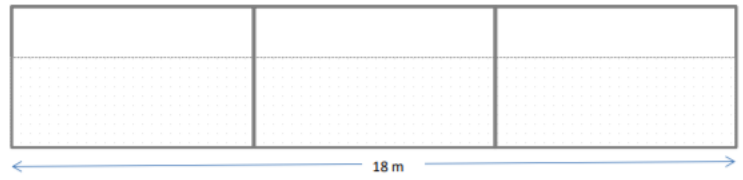
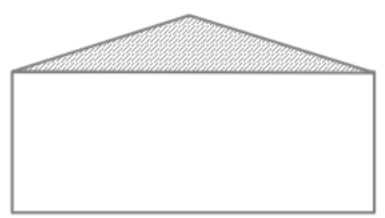
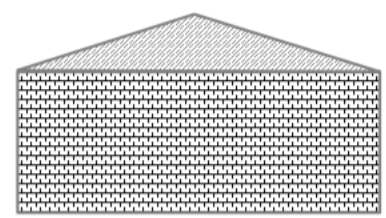
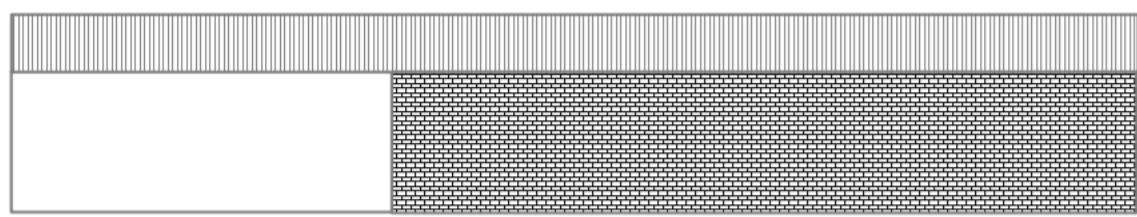
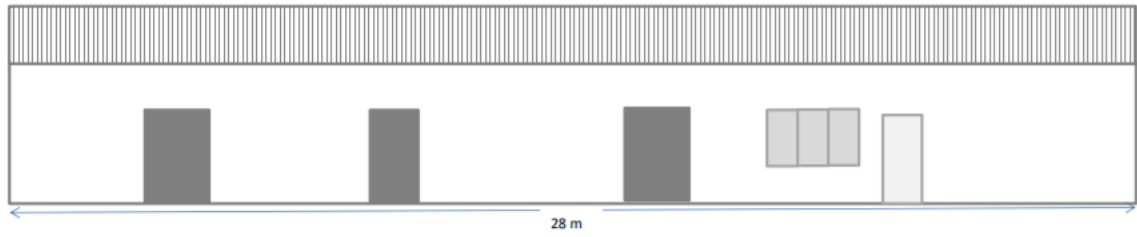


Sheds 1 and 2 West elevation

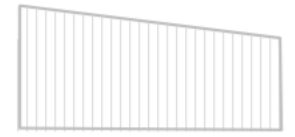


Sheds 1 and 2 East elevation

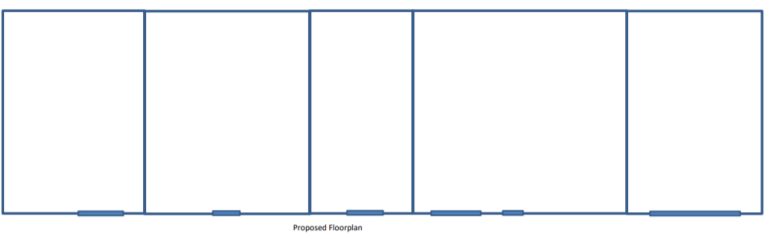
Retained Agricultural Building



### Shed 4



### Shed 3



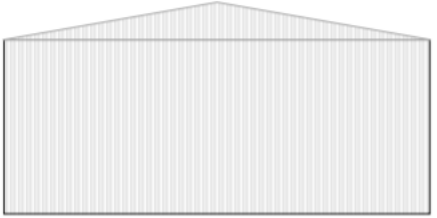
# Shed 5



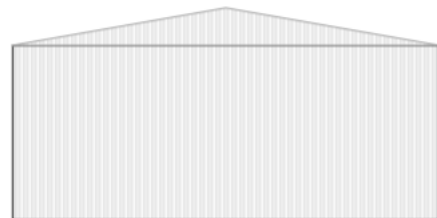
North elevation



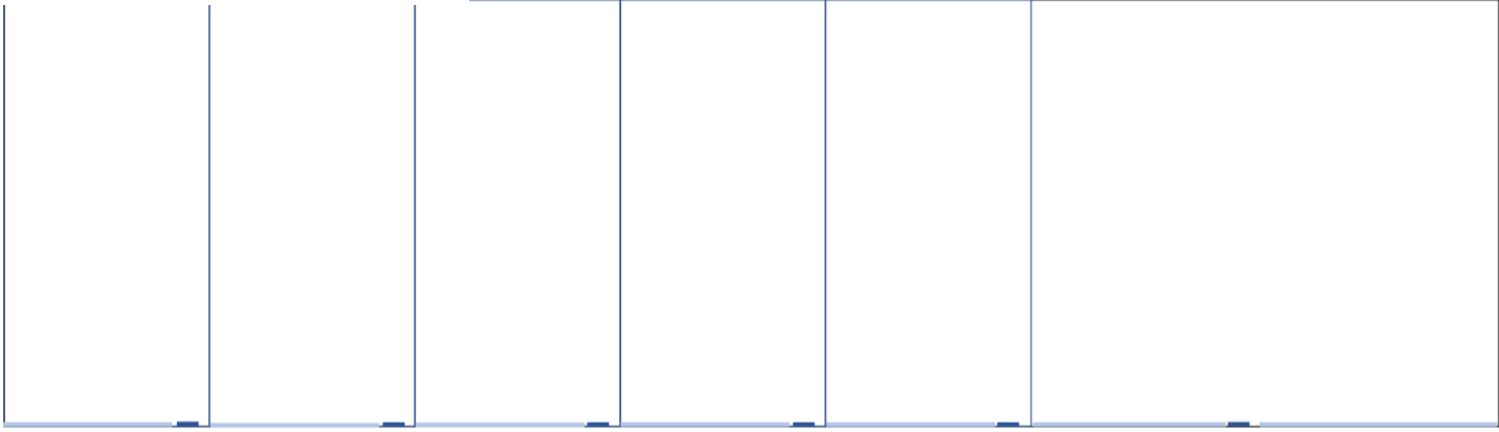
South elevation



West elevation



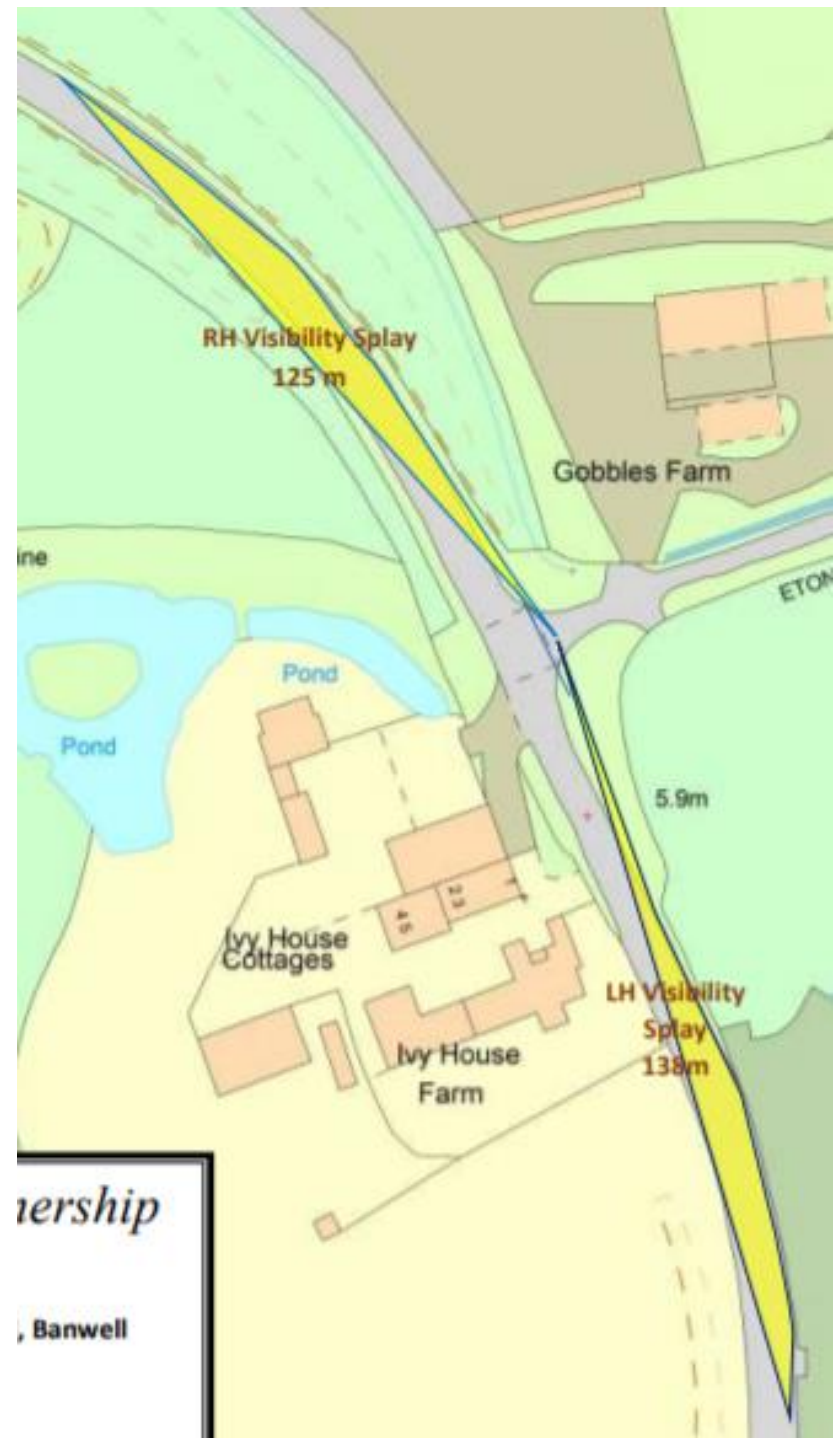
East elevation



# Gobbles Farm

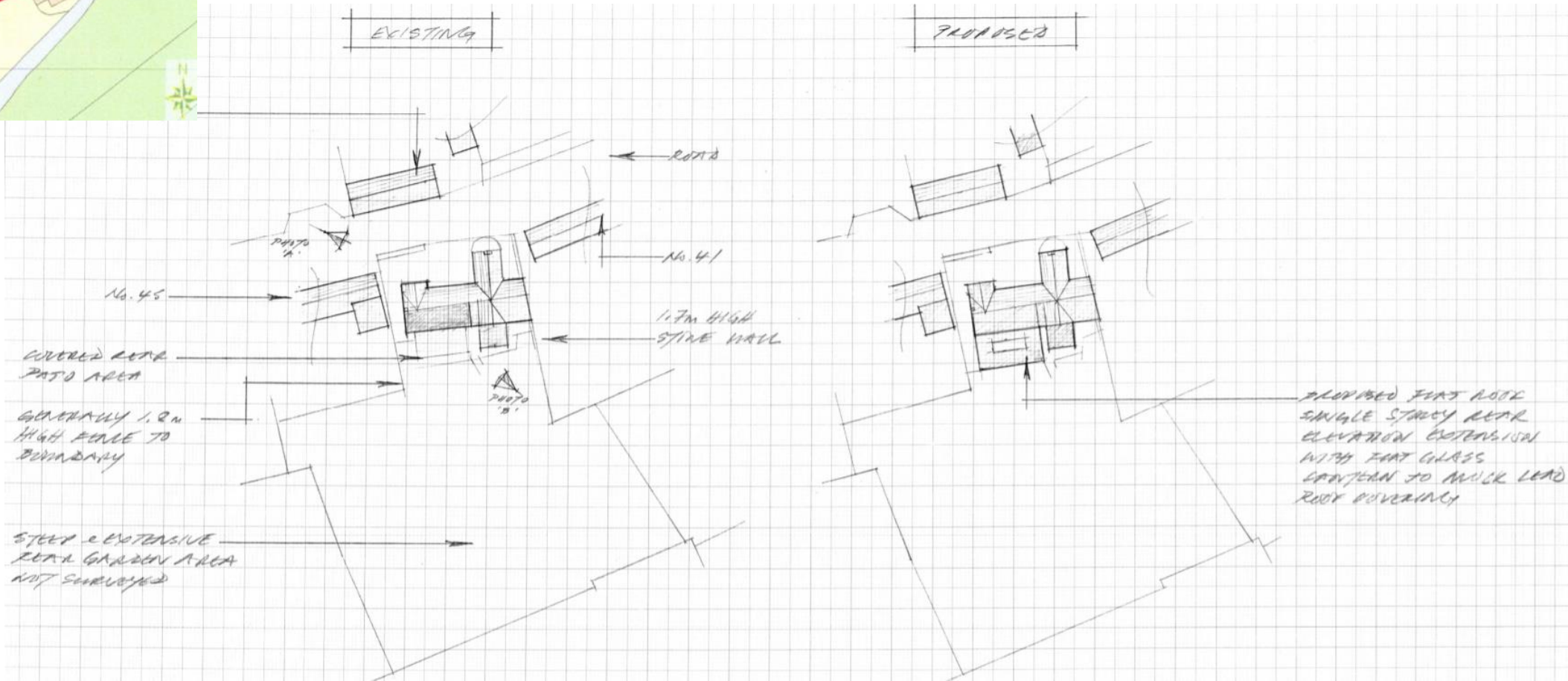


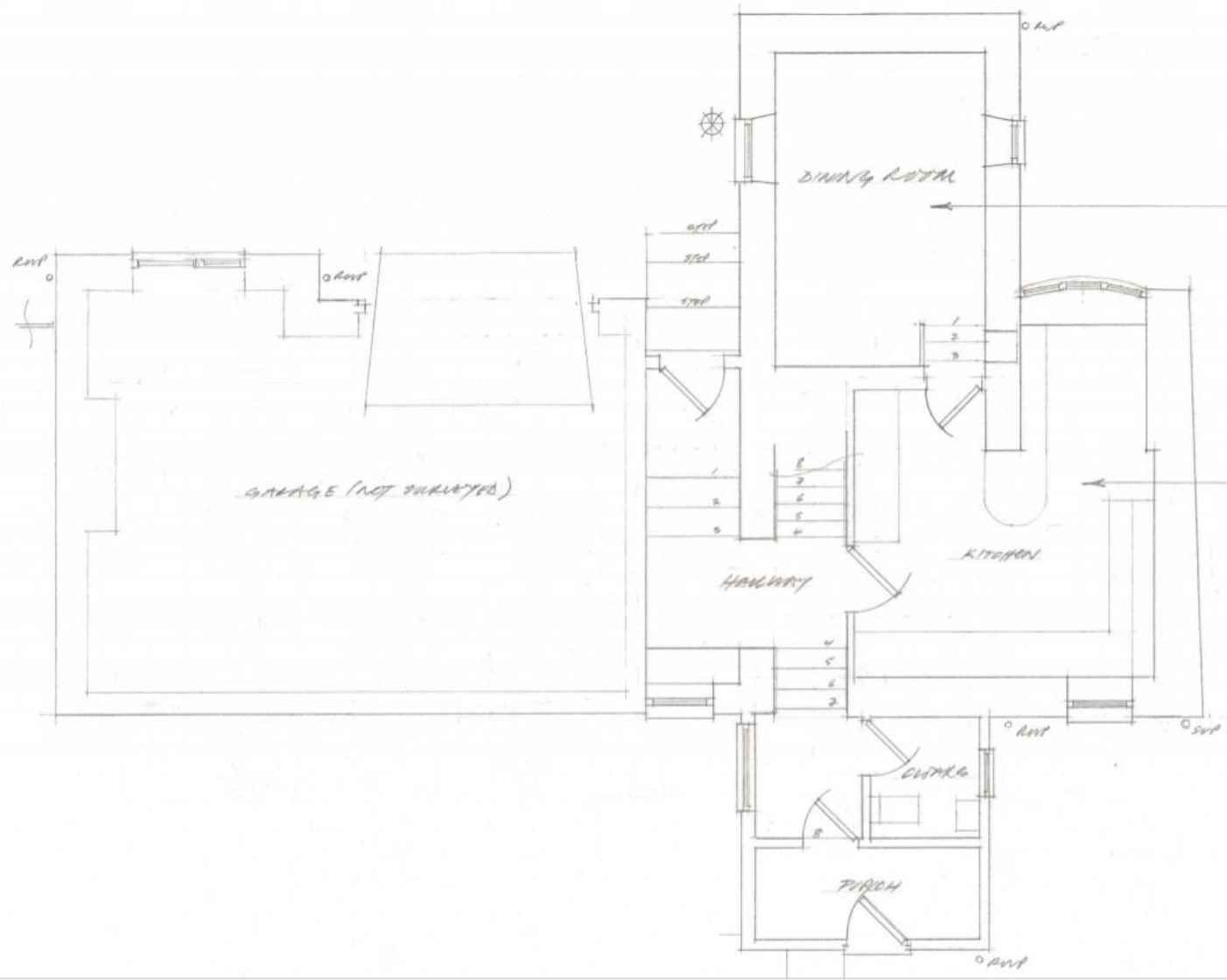
# Gobbles Farm



**19/P/1578/FUH - 43 High Street Banwell BS29  
6AF.**

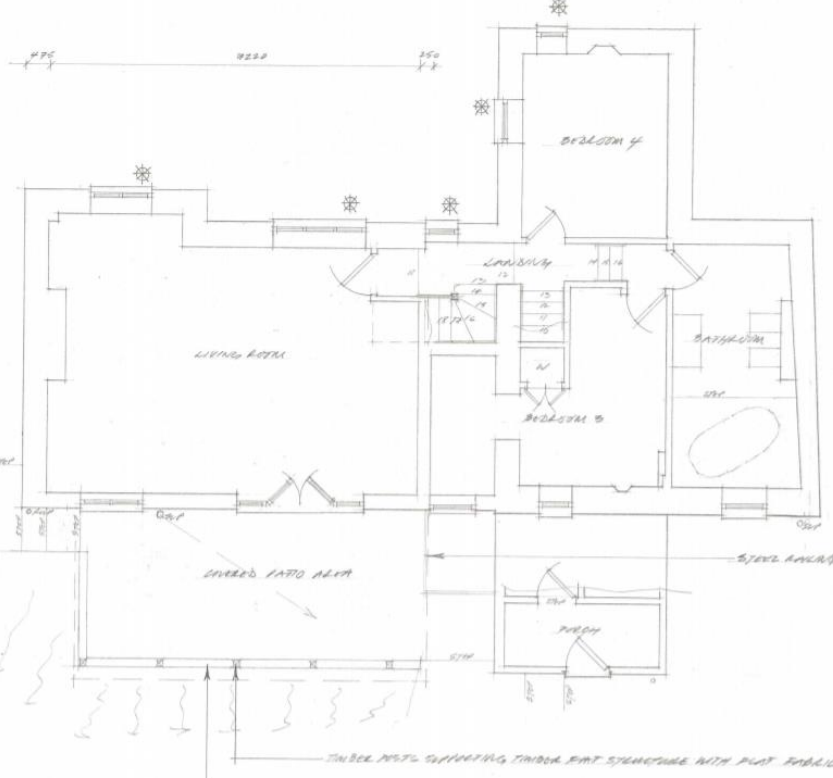
Proposed single storey flat roof rear elevation extension & front  
elevation timber window replacements.





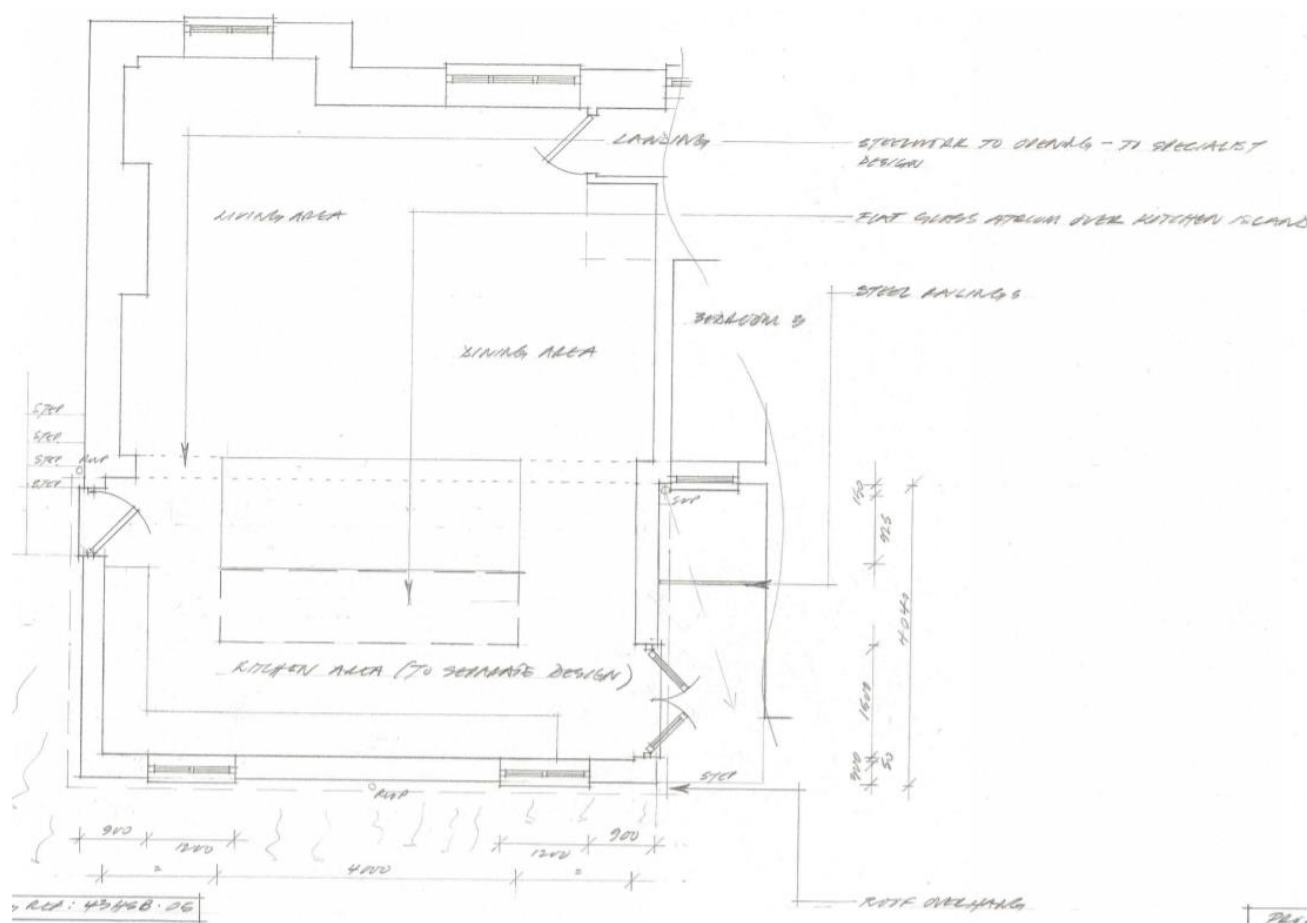
⊗ INDICATES EXISTING TRIMMED WINDOWS TO BE REPLACED

POLE EXTENSION IS COMPLETE - KITCHEN & DINING ROOM TO CONVERT TO OPEN FAMILY ROOM AREA



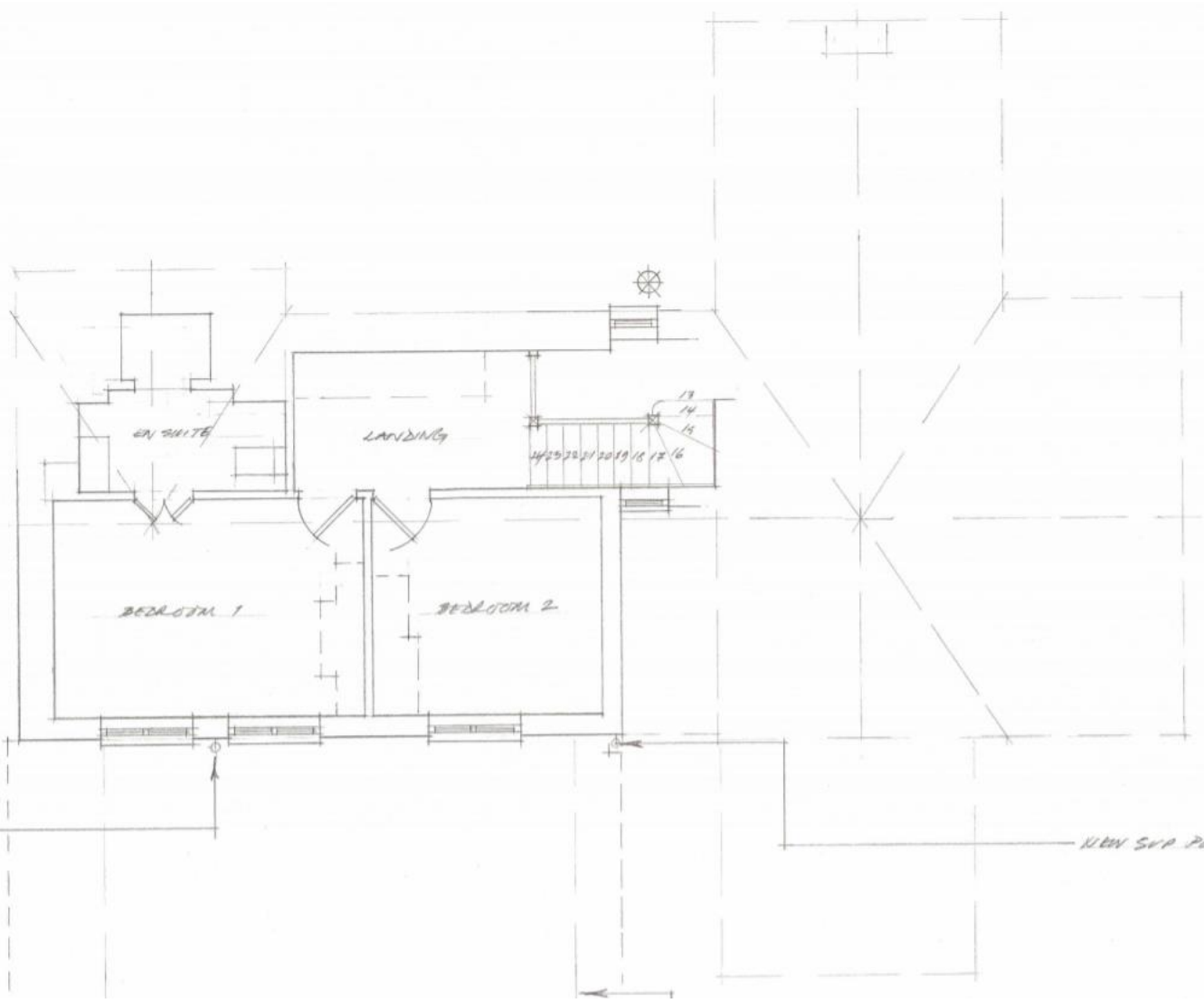
\* INDICATES EXISTING TIMBER ANCHORS TO BE REPLACED

EXISTING FIRST FLOOR LAYOUT  
SCALE 1:50 @ A2  
DATE 2010



REF: 42858.06

PLAN  
SCALE  
DATE



EXISTING 21P TUBE RADIATOR

NEW SUP PARTIN

FRONT ELEVATION - VIEW FROM NORTH

1911 DATE STONE

LARGE FORMAT  
FOURLE PANILES

EXISTING PATON TIMBER  
WINDOWS PROPOSED TO  
BE REPLACED FOR  
MATCHING PACIFIC WHITE  
PUL

WHITE PUL FASCIA

GRAY NATURAL STONEWORK

WHITE PUL WINDOW

SMOOTH CREAM RENDER

MULTI-RED FACE  
BRICKWORK

STEEL GATE TO SIDE

LINE OF ROAD SURFACE

CARAGE POOL

SMOOTH BLACK COLOUR  
FINISH LEADER TO  
PLINTH

PLANTED AREA

CURRENT PRINCIPAL ENTRANCE  
VIA STEPS



REAR ELEVATIONS - VIEW FROM SOUTH

EAST ROOF REAR FACING ROOFING

TILE HANGING

LARGE FORMAT DOUBLE  
PANTILES

EXISTING

1.8m CONCRETE  
FOUNDAION

LINE OF TOP OF  
RETAINING WALL TO  
REST OF GARDEN

COVERED AWAY TO  
REST GARDEN PAVED AREA

SMOOTH CREAM RENDER

ALL REAR ELEVATION  
WINDOWS ARE WHITE PVC

4.0x1.0m EAST GLASS  
ROOF LANTERN TO EXTENSION

WITH LEAD ROOF JOINS TO  
EXIST - POSSIBLE EAST ROOF  
MEMBRANE  
PROVIDED

MATCHING WHITE PVC WINDOWS

DRAWING REF: 43496.07

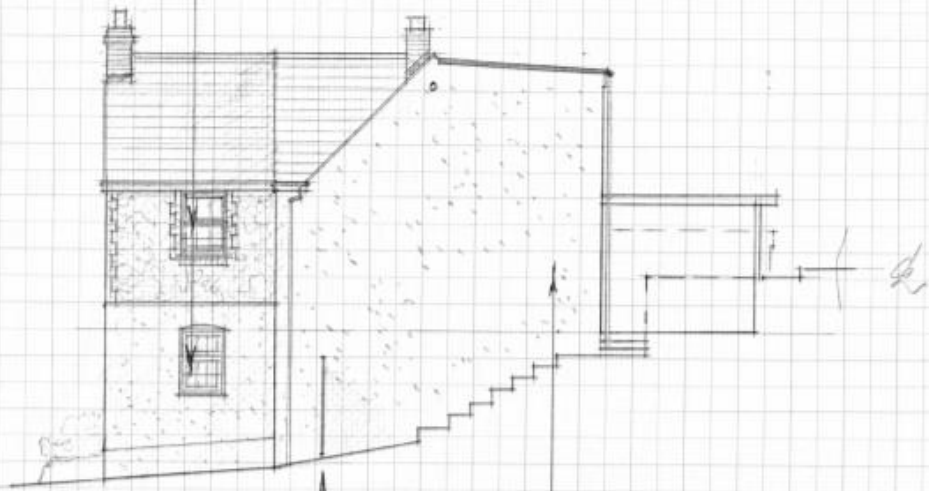


ELEVATIONS 2  
SCALE 1:100 @ A3  
JUNE 2019



SIDE ELEVATIONS - VIEW FROM WEST

EXISTING TIMBER WINDOWS TO BE  
REPLACED WITH MATCHING WHITE PVC



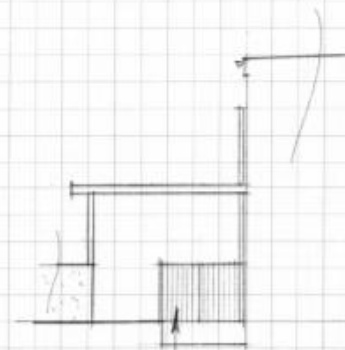
GATE

CREAM SMOOTH RENDER

SOFT GREY COLOR TO REAR  
WALL (AS FRONT + GARAGE DOOR)

EXISTING

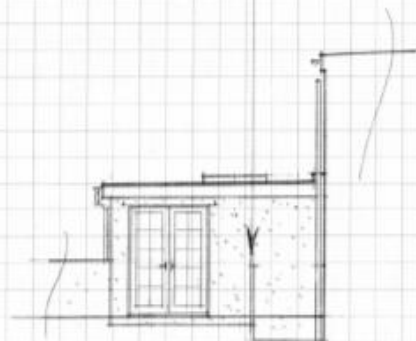
SIDE ELEVATIONS - VIEW FROM EAST



STEEL FALL ARREST  
RAILING



PROPOSED



DRAWING REF: 43456.09

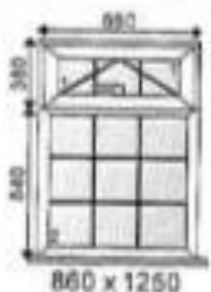
ELEVATIONS 3  
SCALE 1:100 @ A3  
JUNE 2019

**Frame Specification:**

Win Handle: Locking Handle - Chrome  
 Win Hinge: STD Hinges  
 Win Lock: MACO Shoot Bolt Lock  
 Cill: 85mm Cill - White  
 Beading: 28mm Sculptured Bead White  
 Drainage: Concealed  
 Reinforcing: Std Reinf Casement

**Glazing:**

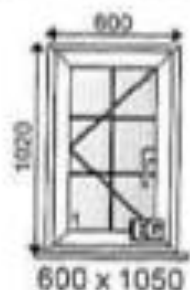
4/20/4 Clear low e TUF (A) 18mm Duplex Clip On Bar W  
 Warmedge Black Argon Gas

**Frame No: 1****Qty: 1 Int Glazed Casement - White****Frame Specification:**

Win Handle: Locking Handle - Chrome  
 Win Hinge: STD Hinges  
 Win Lock: MACO Shoot Bolt Lock  
 Cill: 85mm Cill - White  
 Beading: 28mm Sculptured Bead White  
 Drainage: Concealed  
 Reinforcing: Std Reinf Casement

**Glazing:**

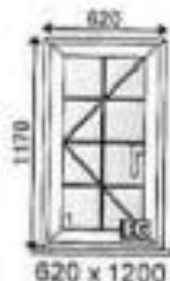
4/20/4 Clear low e TUF (A) 18mm Duplex Clip On Bar W  
 Warmedge Black Argon Gas

**Frame No: 2****Qty: 1 Int Glazed Casement - White****Frame Specification:**

Win Handle: Locking Handle - Chrome  
 Win Hinge: STD & EGRESS E/CLEAN  
 Win Lock: MACO Shoot Bolt Lock  
 Cill: 85mm Cill - White  
 Beading: 28mm Sculptured Bead White  
 Drainage: Concealed  
 Reinforcing: Std Reinf Casement

**Glazing:**

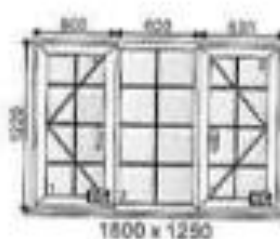
4/20/4 Clear low e TUF (A) 18mm Duplex Clip On Bar W  
 Warmedge Black Argon Gas

**Frame No: 3****Qty: 1 Int Glazed Casement - White****Frame Specification:**

Win Handle: Locking Handle - Chrome  
 Win Hinge: STD & EGRESS E/CLEAN  
 Win Lock: MACO Shoot Bolt Lock  
 Cill: 150mm WELDED Cill - White  
 Beading: 28mm Sculptured Bead White  
 Drainage: Concealed  
 Reinforcing: Std Reinf Casement

**Glazing:**

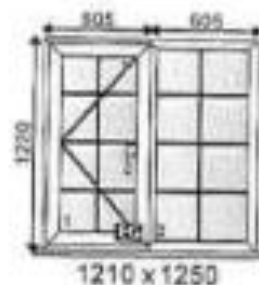
4/20/4 Clear low e TUF (A) 18mm Duplex Clip On Bar W  
 Warmedge Black Argon Gas

**Frame No: 4****Qty: 1 Int Glazed Casement - White****Frame Specification:**

Win Handle: Locking Handle - Chrome  
 Win Hinge: STD & EGRESS E/CLEAN  
 Win Lock: MACO Shoot Bolt Lock  
 Cill: 150mm Cill - White  
 Beading: 28mm Sculptured Bead White  
 Drainage: Concealed  
 Reinforcing: Std Reinf Casement

**Glazing:**

4/20/4 Clear low e (A) 18mm Duplex Clip On Bar W Warmedge  
 Black Argon Gas

**Frame No: 5****Qty: 1 Int Glazed Casement - White****Frame Specification:**

Win Handle: Locking Handle - Chrome  
 Win Hinge: STD & EGRESS E/CLEAN  
 Win Lock: MACO Shoot Bolt Lock  
 Cill: 150mm Cill - White  
 Beading: 28mm Sculptured Bead White  
 Drainage: Concealed  
 Reinforcing: Std Reinf Casement

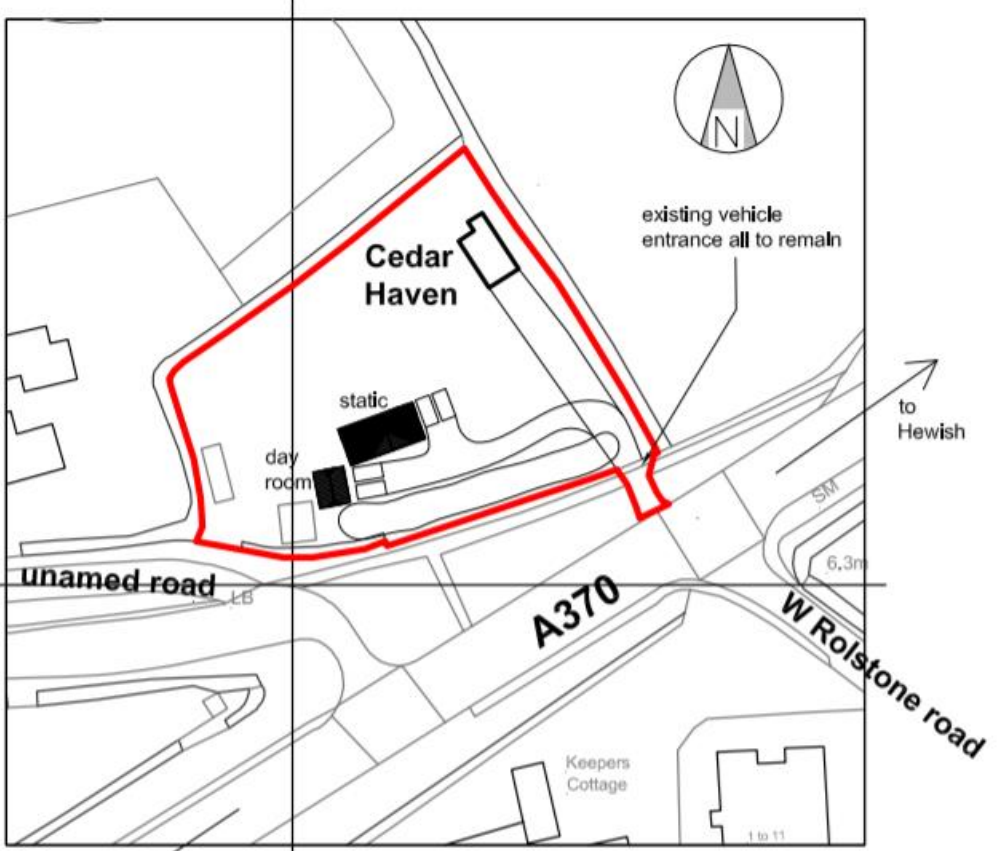
**Glazing:**

4/20/4 Clear low e (A) 18mm Duplex Clip On Bar W Warmedge  
 Black Argon Gas

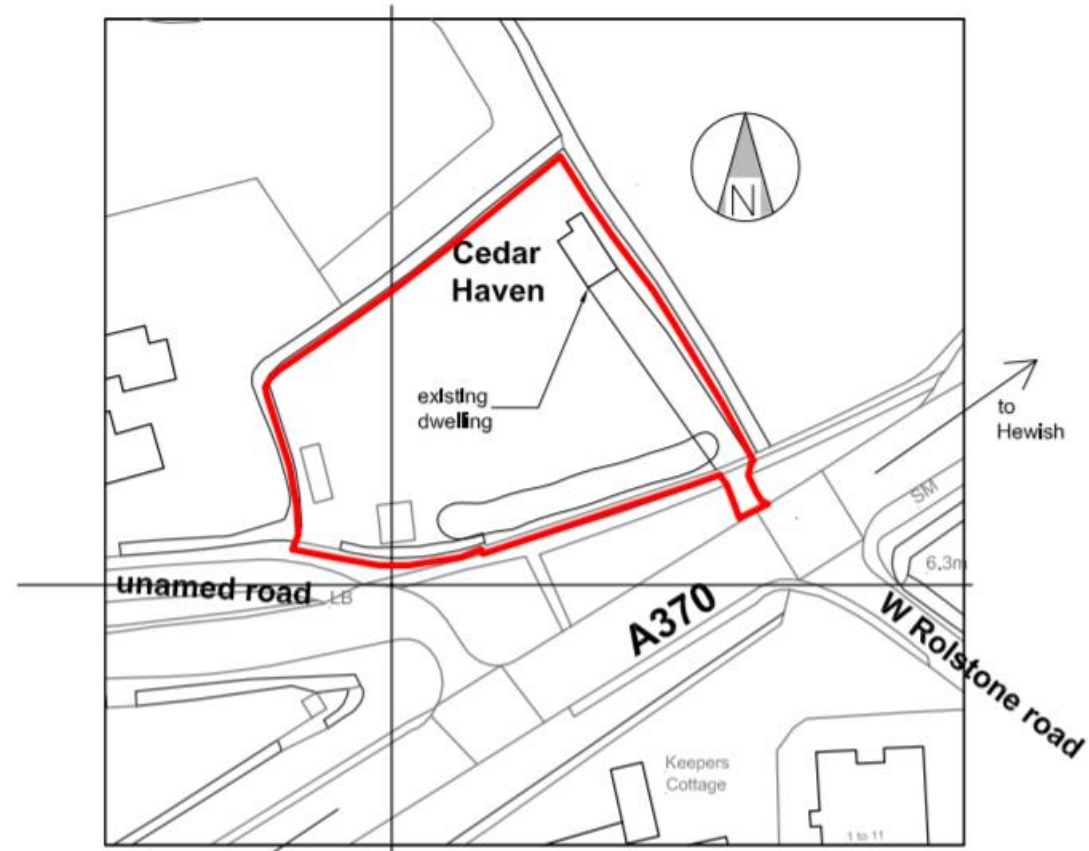
**Frame No: 6****Qty: 1 Int Glazed Casement - White**

**19/P/1588/FUL** – Cedar Haven, Haybow, Hewish,  
Banwell. BS24 6RB.

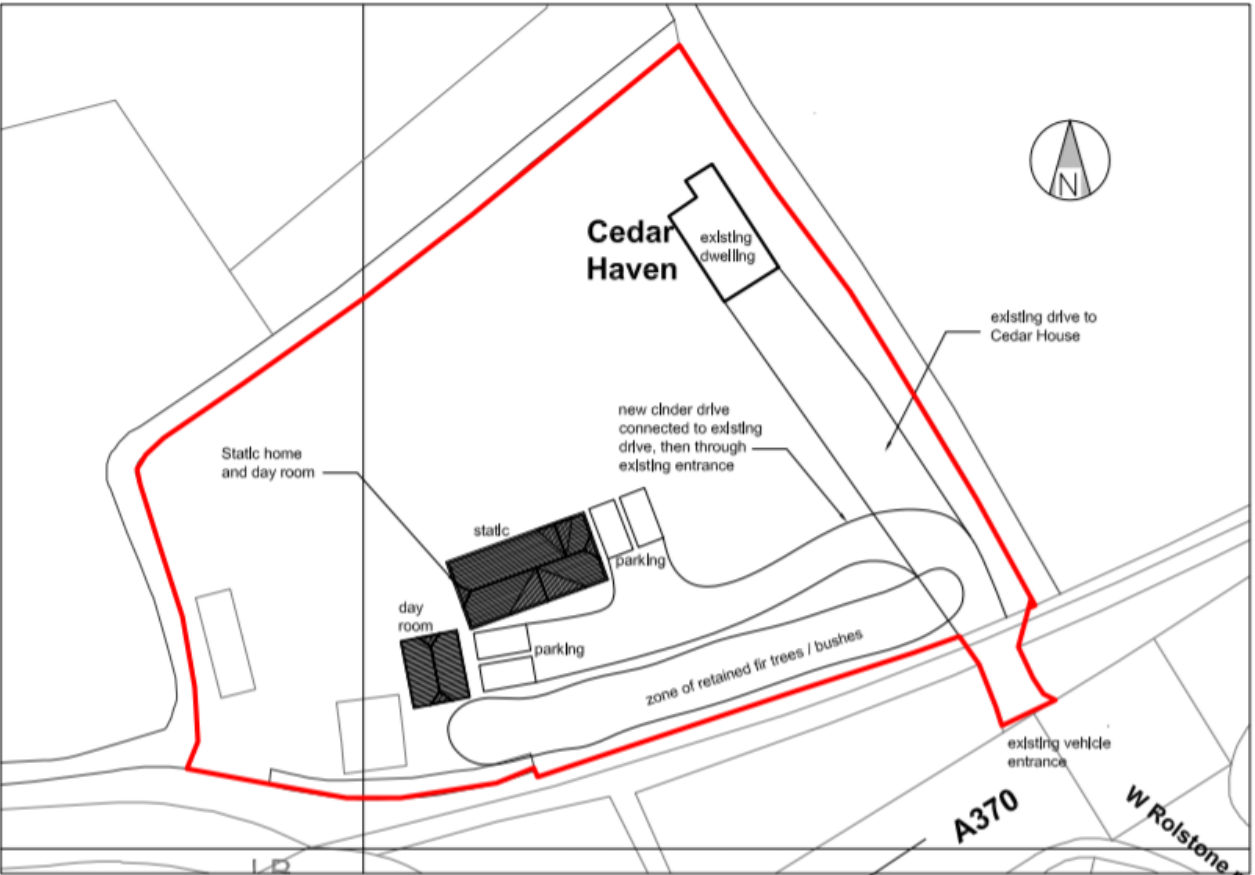
Siting of a static home and erection of a  
new day room.



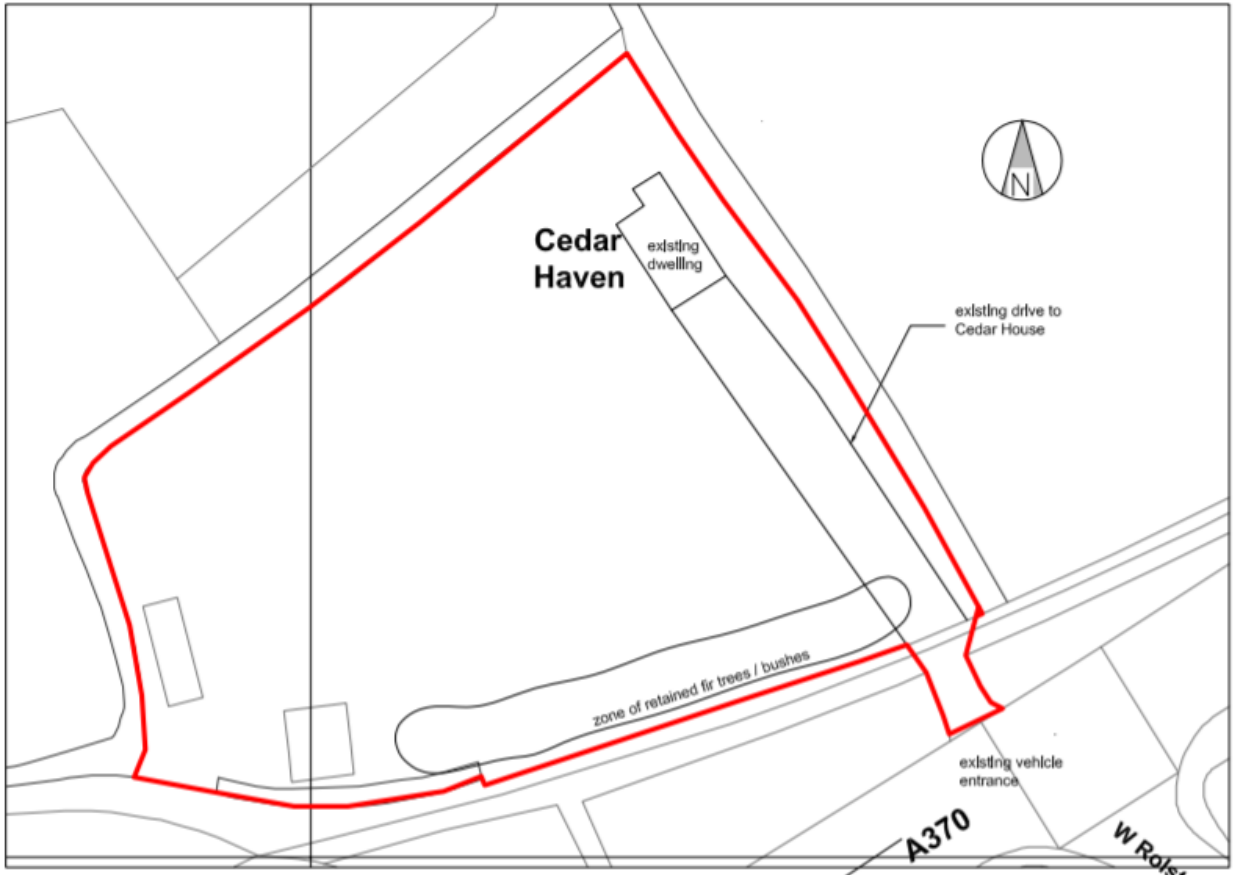
**site location plan  
as proposed, scale 1:1250**



**site location plan  
as existing, scale 1:1250**



**site block plan  
as proposed, scale 1:1250**

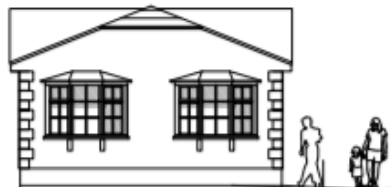


**site block plan  
as existing, scale 1:1250**

42ft x 20ft static home (12.8m x 6.1m)



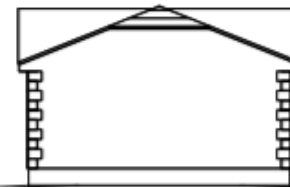
south elevation scale 1:100



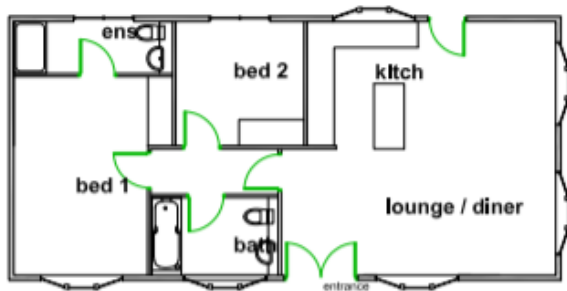
east elevation scale 1:100



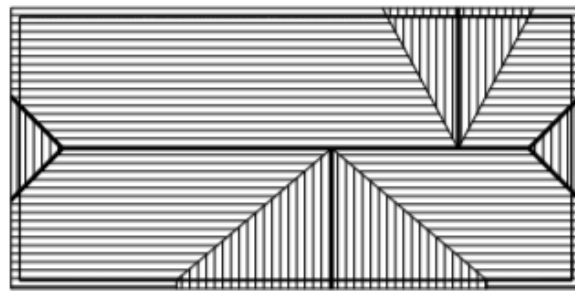
north elevation scale 1:100



west elevation scale 1:100



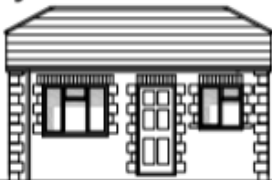
floor plan scale 1:100



roof plan scale 1:100



day room details



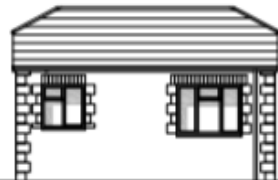
front (east)



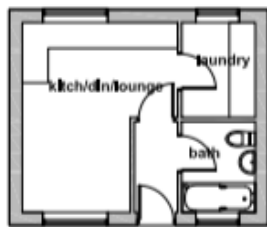
side (north)



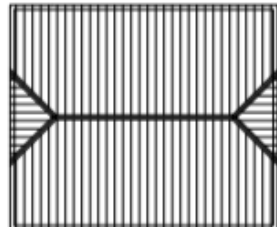
side (south)



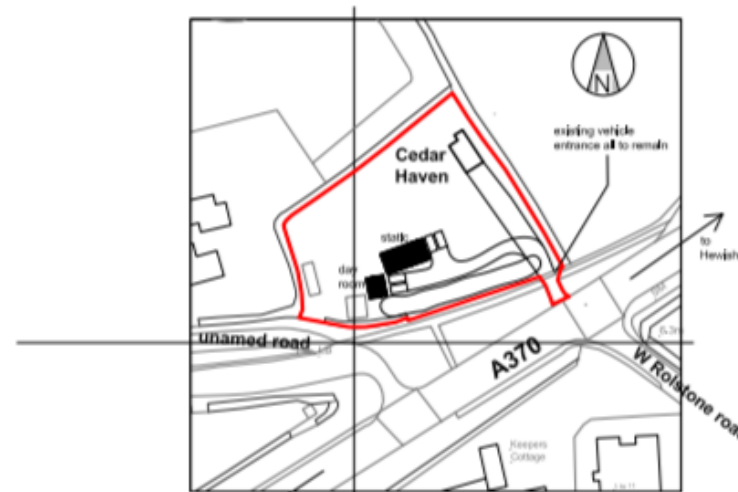
rear (west)



floor plan



roof plan

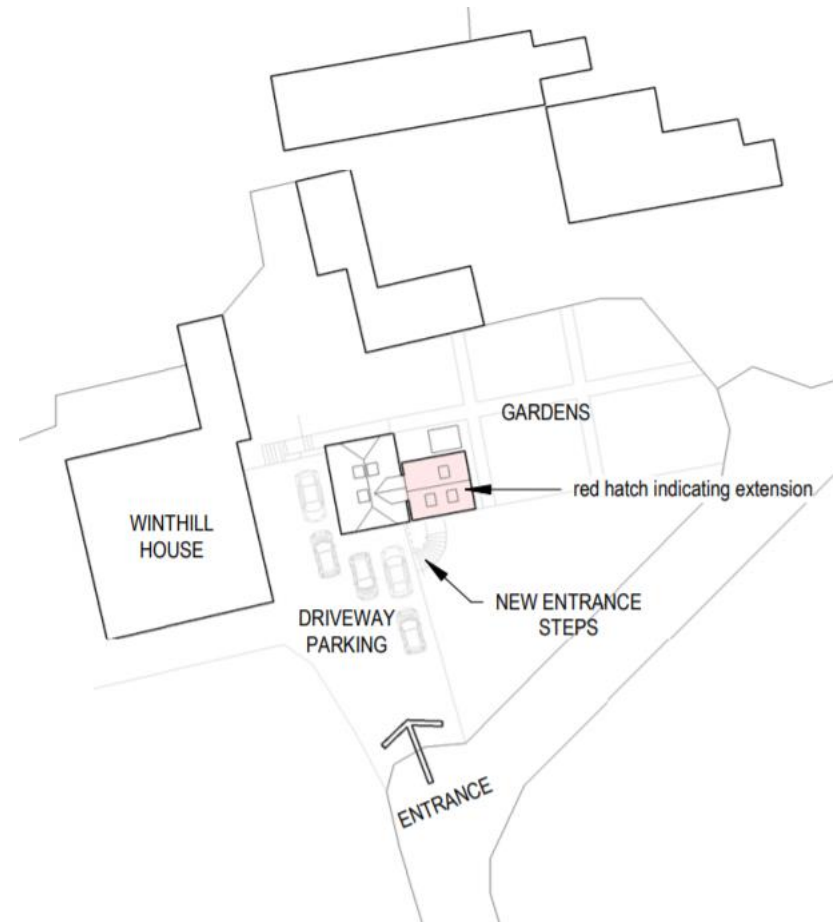
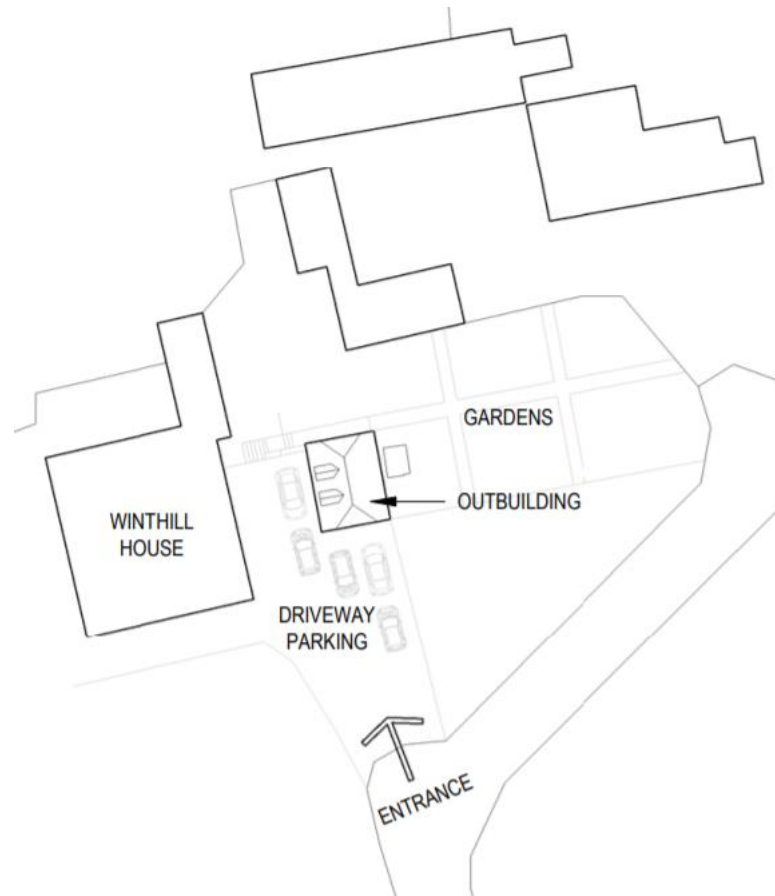


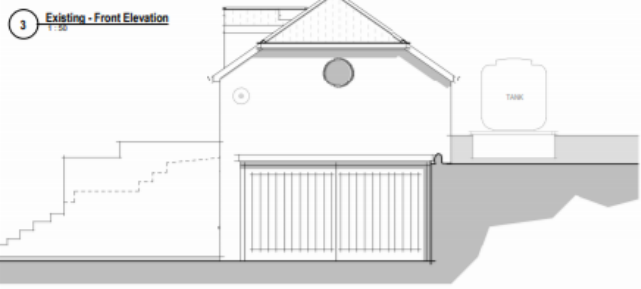
site location plan as proposed, scale 1:1250

Ordnance survey plan obtained under license by Weaver Khan Architects Ltd

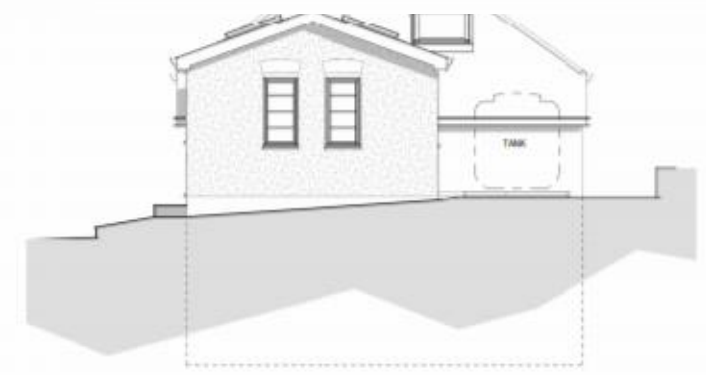
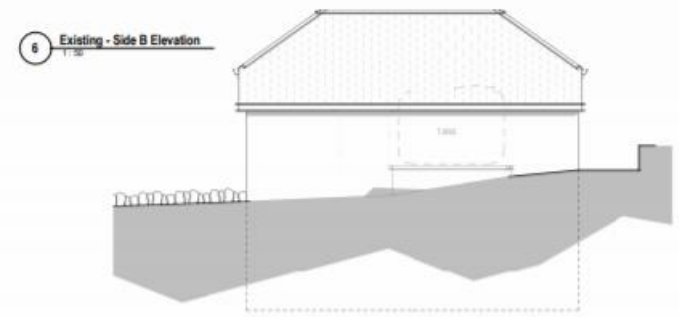
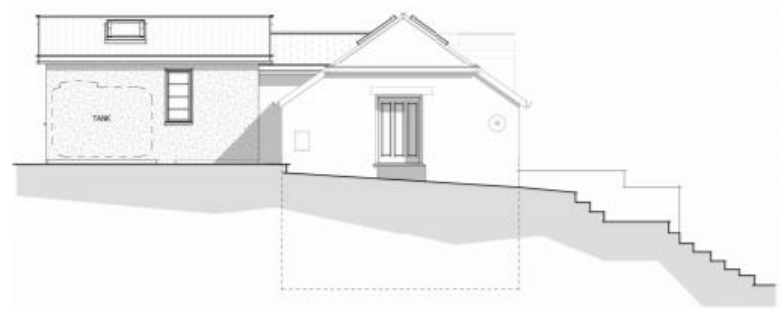
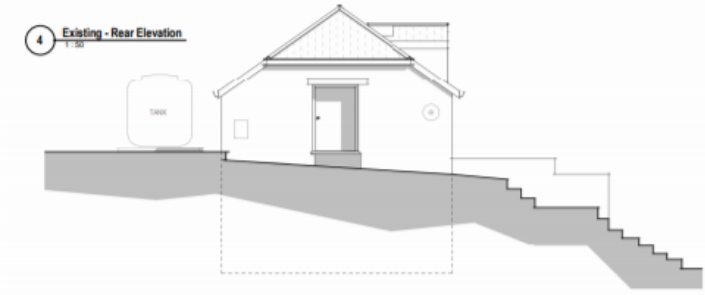
**19/P/1608/FUL - Winthill House Winthill Banwell  
BS29 6NN.**

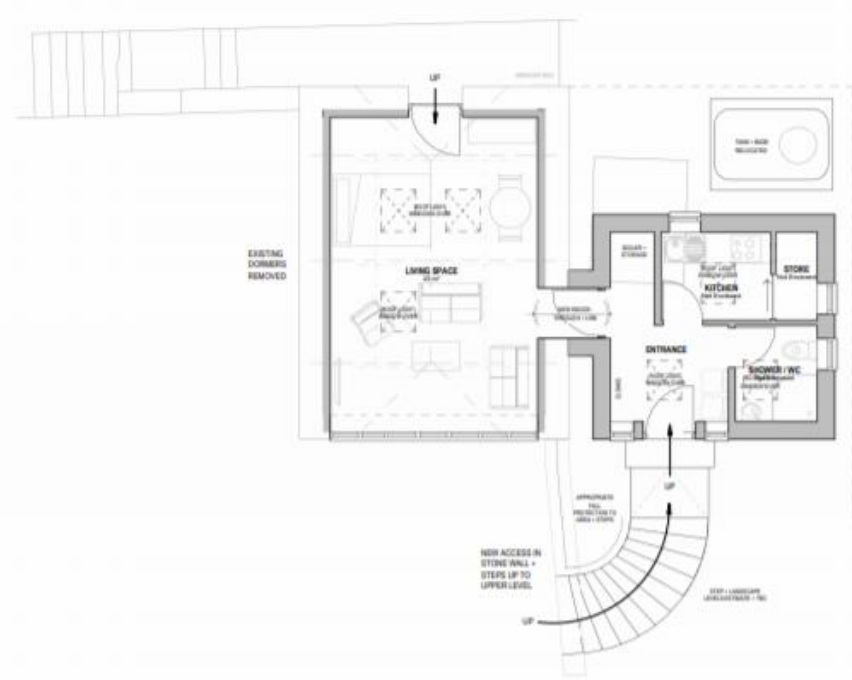
Conversion and extension of existing  
garage and storage loft to holiday let.



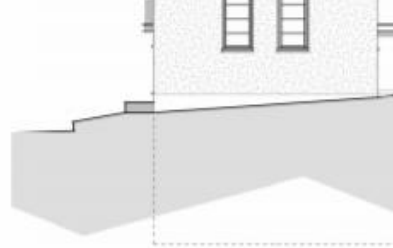


Proposed

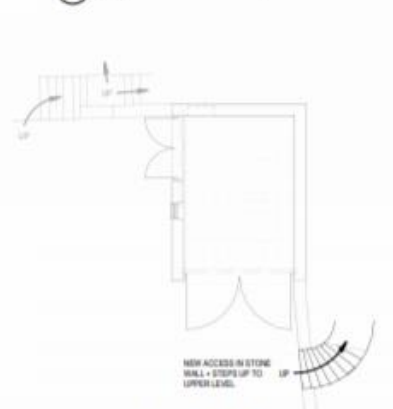




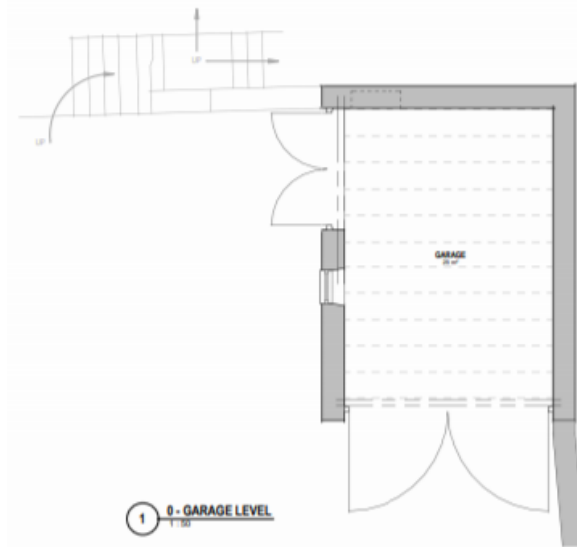
2 PROPOSED UPPER LEVEL  
1/32'



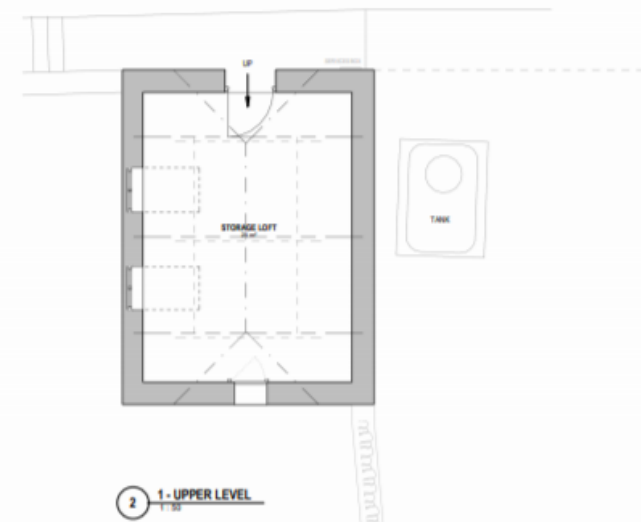
6 Proposed - Side B Elevation  
1/32'



1 PROPOSED GARAGE LEVEL  
1/32'



1 0 - GARAGE LEVEL  
1/32'



2 1 - UPPER LEVEL  
1/32'

# **19/P/1610/FUL - Banwell Recreation Field** **Westfield Road Banwell.**

Application to add additional play equipment & trees to Banwell Recreation Ground which includes, a zipline, concrete table tennis, net climber, picnic tables, twelve trees and possibly an additional piece of toddler equipment (seesaw) for the toddler play area.

**19/P/1675FUL** - Stonebridge Farm Wolverhill  
Road Banwell BS29 6DR

Extension to caravan storage area





# **19/P/1773/EA1 - Photovoltaic Installation at Bowerhouse, Riverside, Banwell.**

Request for a formal screening opinion as to whether an Environmental Impact Assessment is required to be submitted for the installation of 37,880 no. 330Wp photovoltaic (PV) units onto Galvanised steel framework tables, supported on Galvanised steel pile foundations, as a 12 MW extension to the existing Solar Farm. THIS IS NOT A PLANNING APPLICATION





**19/P/0408/FUL** - Land South Of Silver Moor Lane Banwell. Prior notification for the proposed connecting track for use of access approved under 19/P/0408/FUL. **PRIOR APPROVAL NOT REQUIRED**

**19/P/0937/FUH** - 42 Knightcott Road, Banwell. BS29 6HF Proposed replacement porch and pitch roof over existing garage, new porch, proposed pitched roof over existing front dormer. **APPROVED**

**19/P/1400/TEN** - Land at Fox Hollow Box Bush Lane Rolstone Banwell. BS24 6UA. Notification, under Regulation 5 of the Electronic Communications Code Regulations, for the proposed installation of fixed-line broadband apparatus, 1 x 9m Wooden Pole (7.20m above ground). **NO OBJECTION**

**19/P/1518/AGA** - Land South Of Silver Moor Lane Banwell. Prior notification for the proposed connecting track for use of access approved under 19/P/0408/FUL. **PLANNING APPLICATION NOT REQUIRED**