

Planning Committee

July 1st 2019

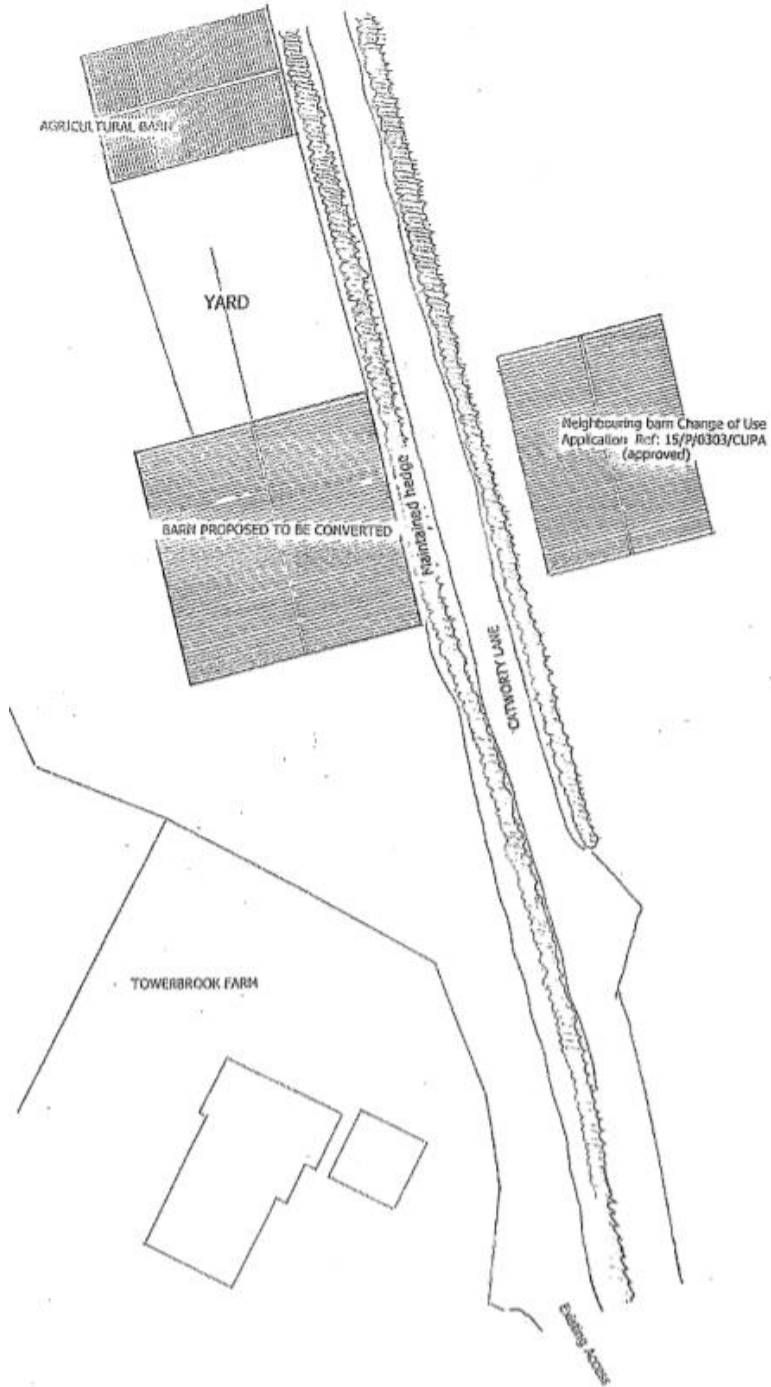
To discuss & agree a response to NS Statement of
Community Involvement (SCI) revision 2019.

[http://consult-ldf.n-
somerset.gov.uk/consult.ti/SCI_2019/consultationHome](http://consult-ldf.n-somerset.gov.uk/consult.ti/SCI_2019/consultationHome)

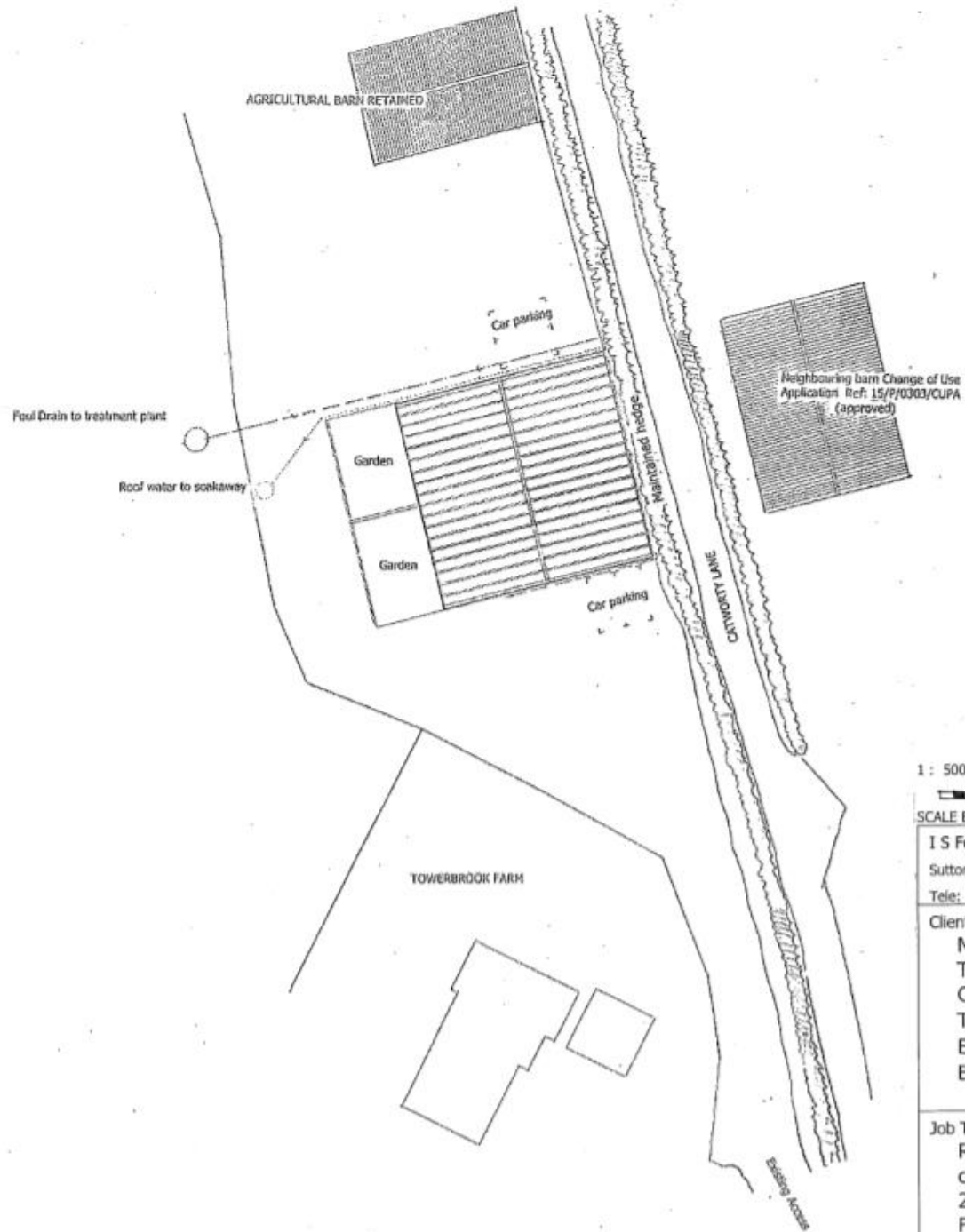
19/P/1079/FUL - Towerbrook Farm, Catworthy Lane, Banwell. BS29 6PQ.

Retrospective application for the conversion of agricultural barn to 2no. dwellings.





EXISTING SITE PLAN



APPROVED SITE PLAN



1 : 500 10 20 30m

SCALE BAR

I S Ford Building Surveying and Planning Ltd.
 Sutton Farm, Butcombe, Blagdon, Bristol, BS40 7XQ
 Tele: 01761 462033

Client:

Ms P Ball and Mr S Perks
 Towerbrook Farm
 Catworthy Lane
 Towerhead Road
 Banwell, North Somerset
 BS29 6PQ

Job Title:

Retrospective application for the
 conversion of agricultural barn to
 2 No. dwellings at Towerbrook
 Farm, Towerhead Road, Banwell.

Drawing Title:



1 : 500

SCALE

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Tele:

Clie

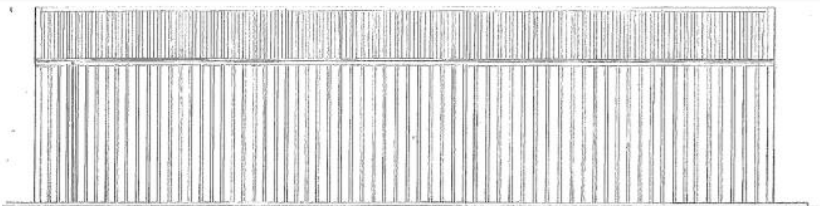
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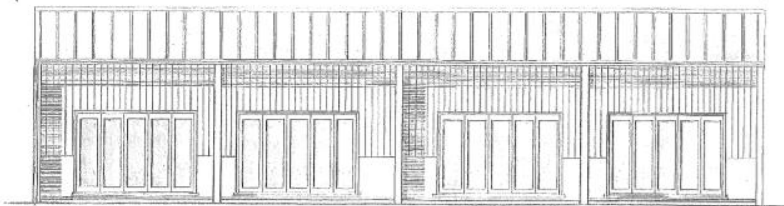
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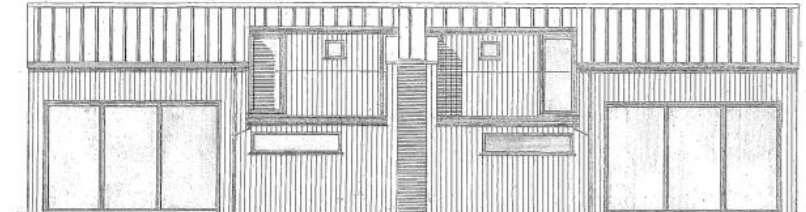
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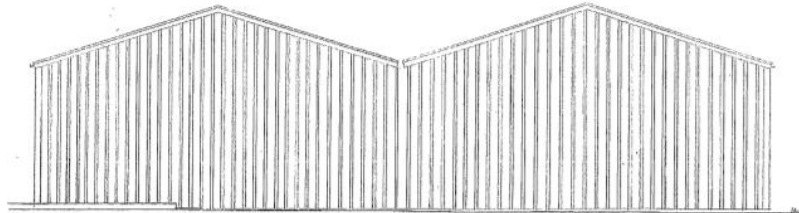
EXISTING WEST ELEVATION



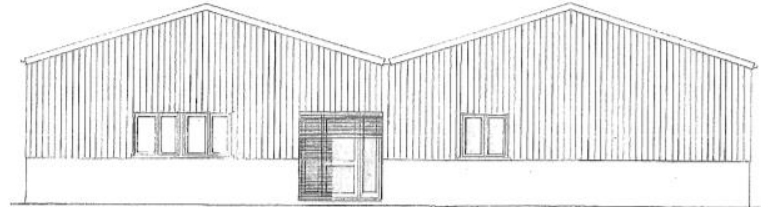
APPROVED WEST ELEVATION



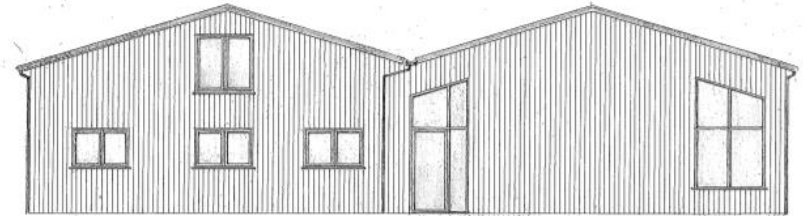
PROPOSED WEST ELEVATION



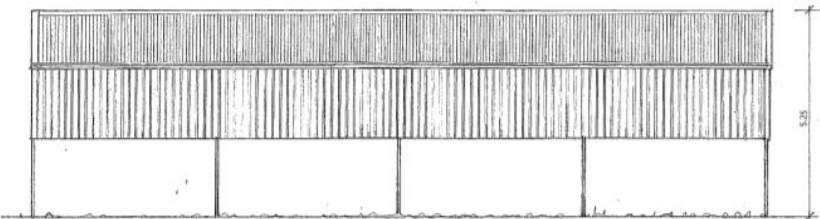
EXISTING SOUTH ELEVATION



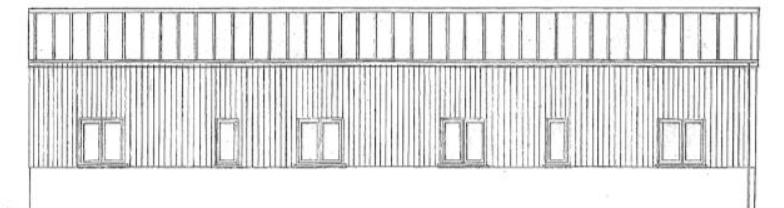
APPROVED SOUTH ELEVATION



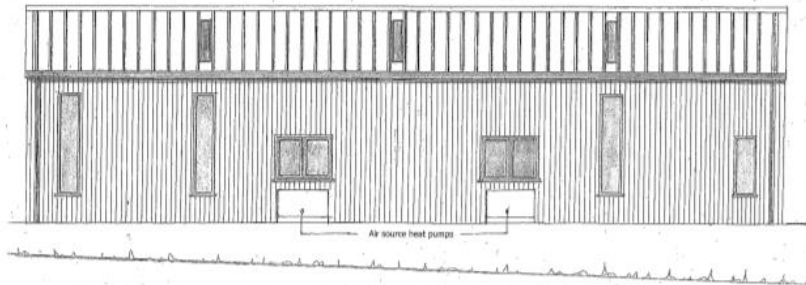
PROPOSED NORTH ELEVATION



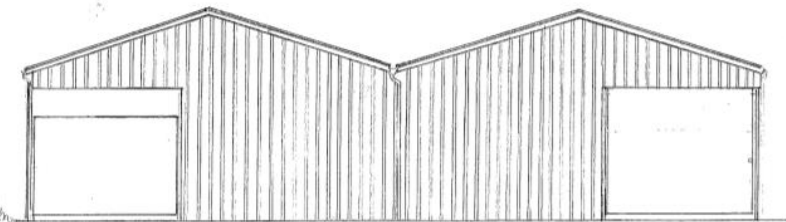
EXISTING EAST ELEVATION



APPROVED EAST ELEVATION



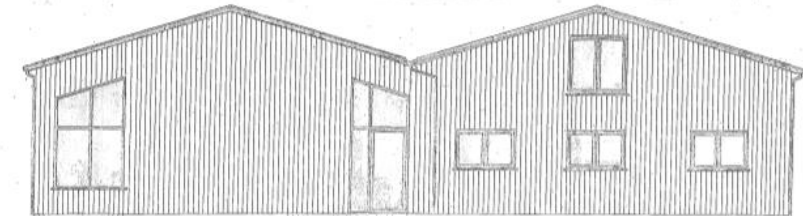
PROPOSED EAST ELEVATION



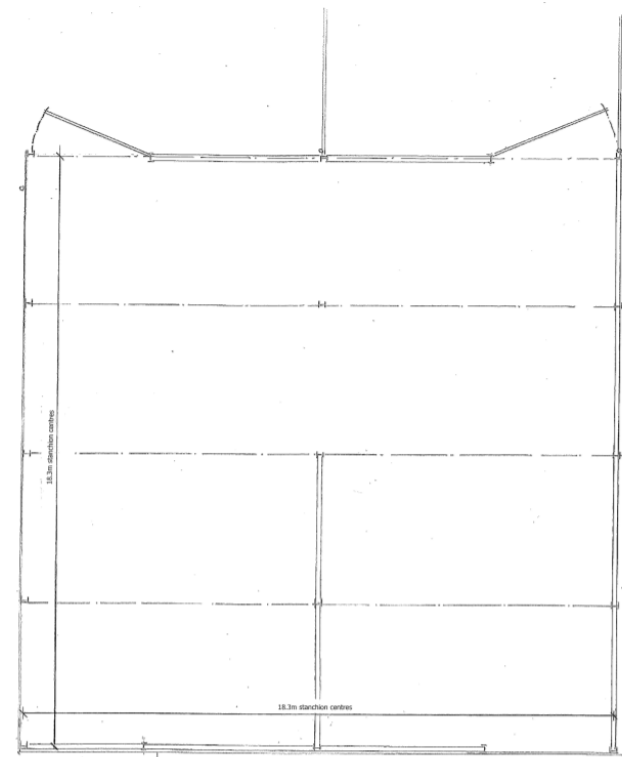
EXISTING NORTH ELEVATION



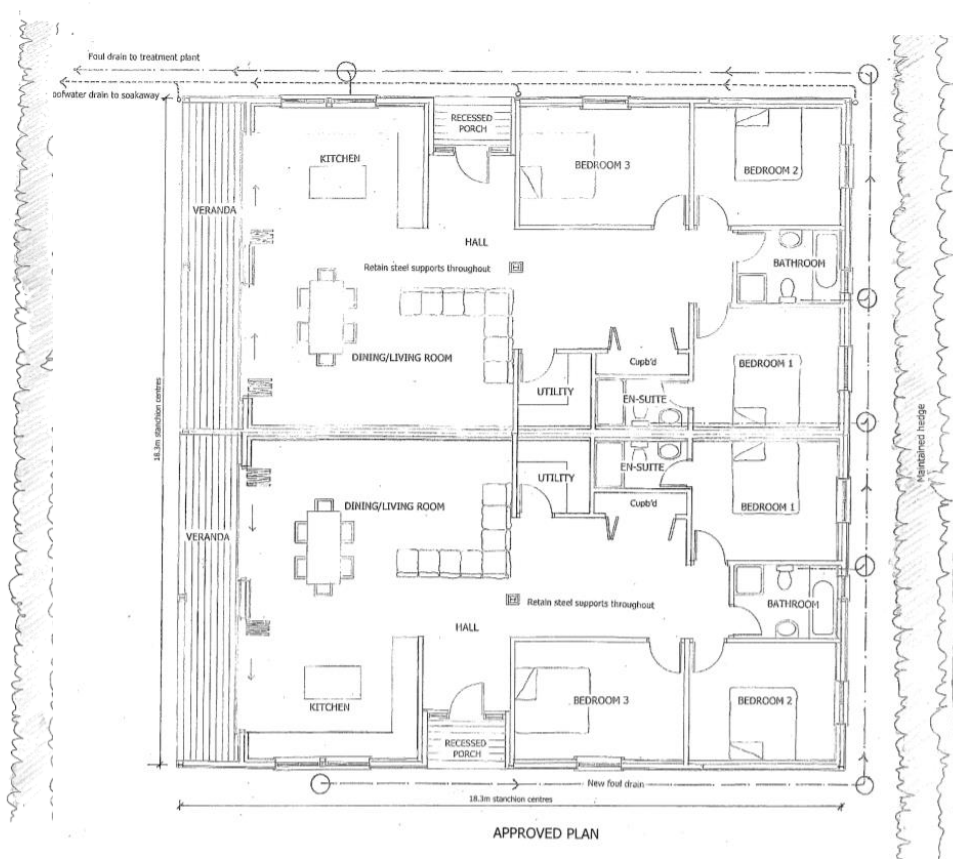
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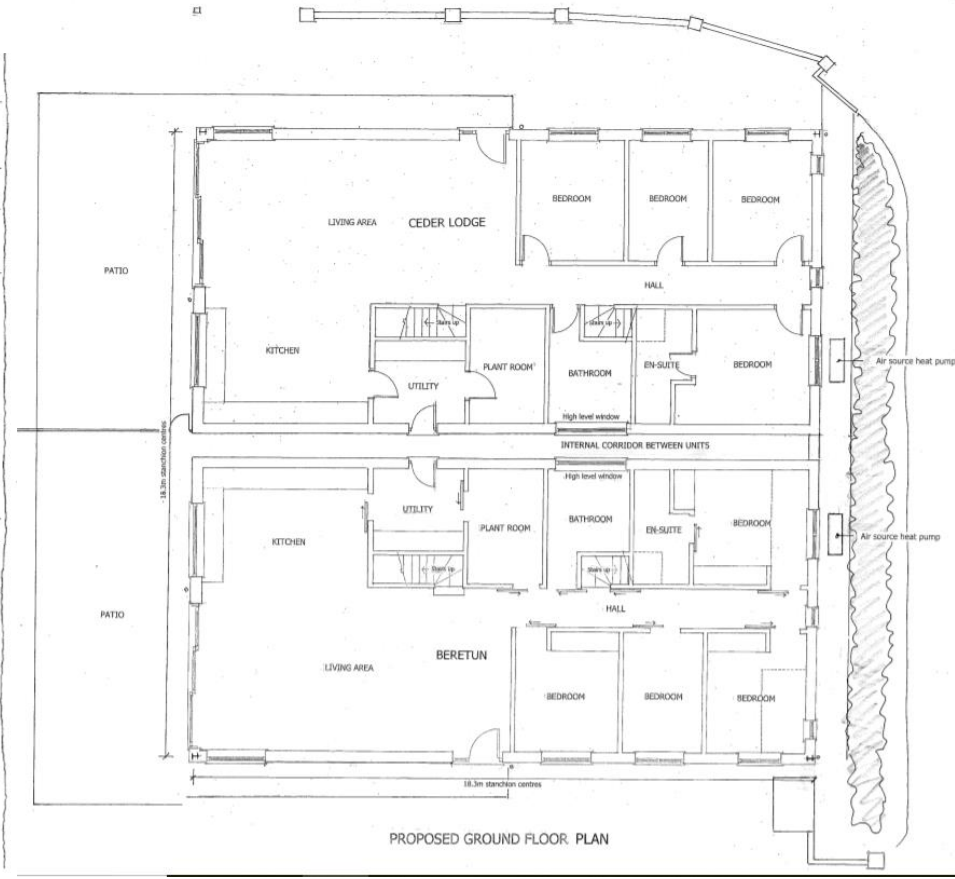
PROPOSED SOUTH ELEVATION



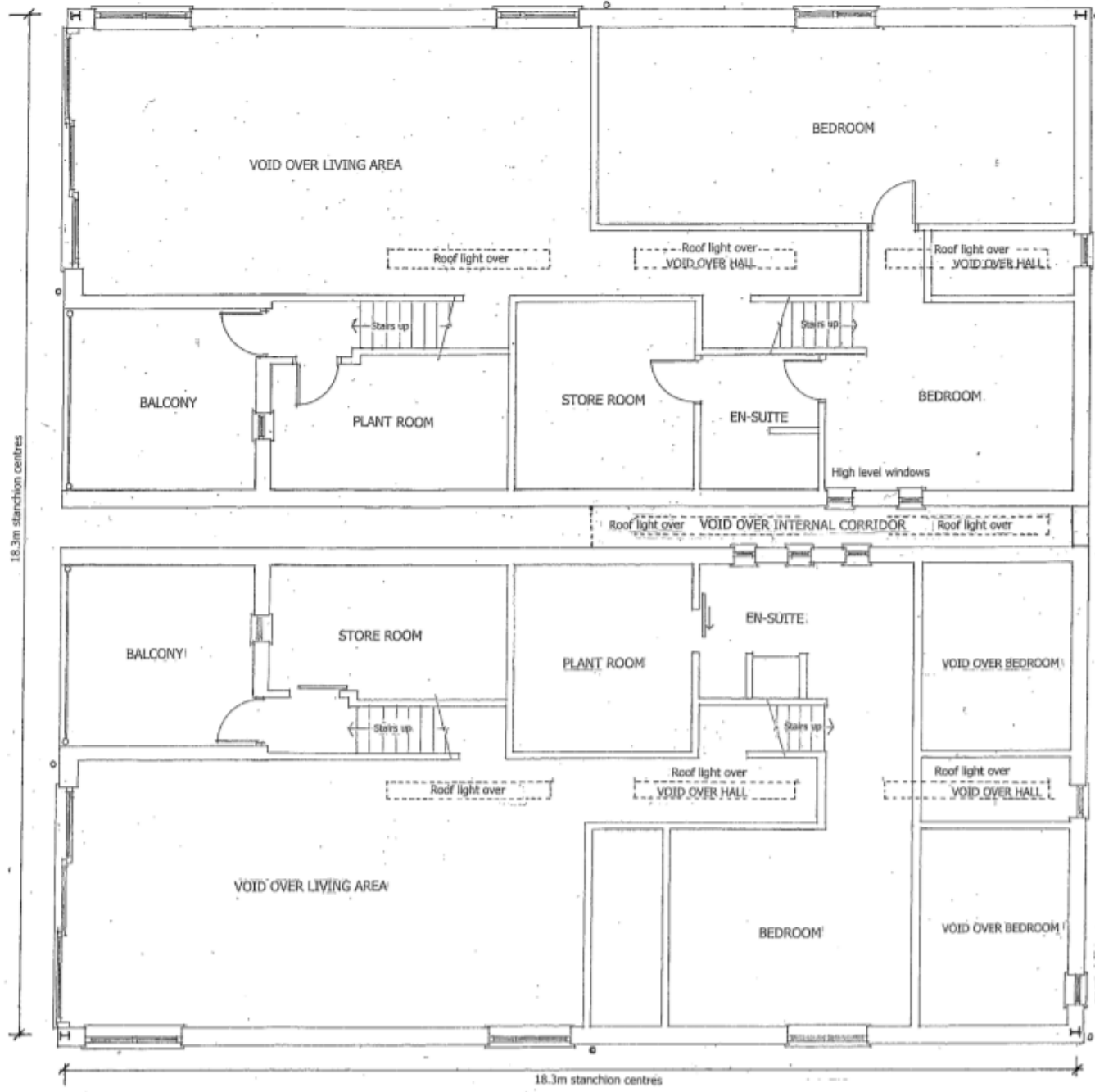
EXISTING PLAN



APPROVED PLAN



PROPOSED GROUND FLOOR PLAN



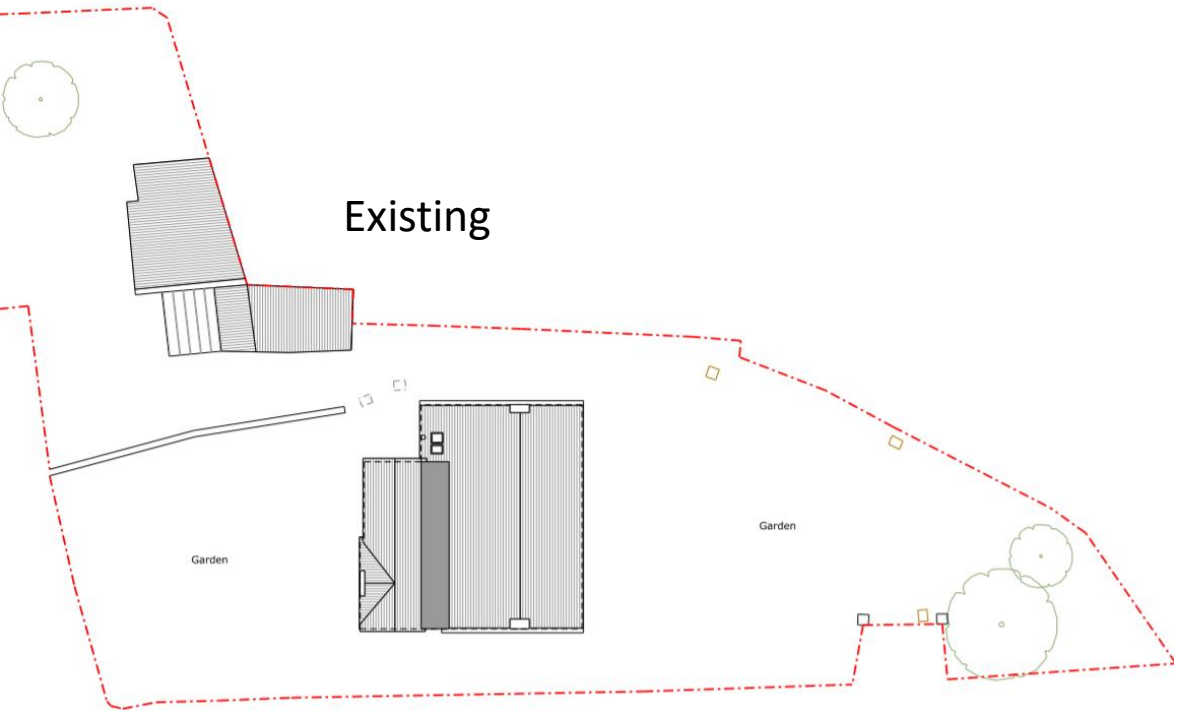
PROPOSED FIRST FLOOR PLAN

19/P/1319/FUH - The Lawns, 2 High Street, Banwell. BS29 6AA.

Proposed whole house window refurbishment, front porch development, garage roof refurbishment, driveway parking area and all associated works at 2 High Street.

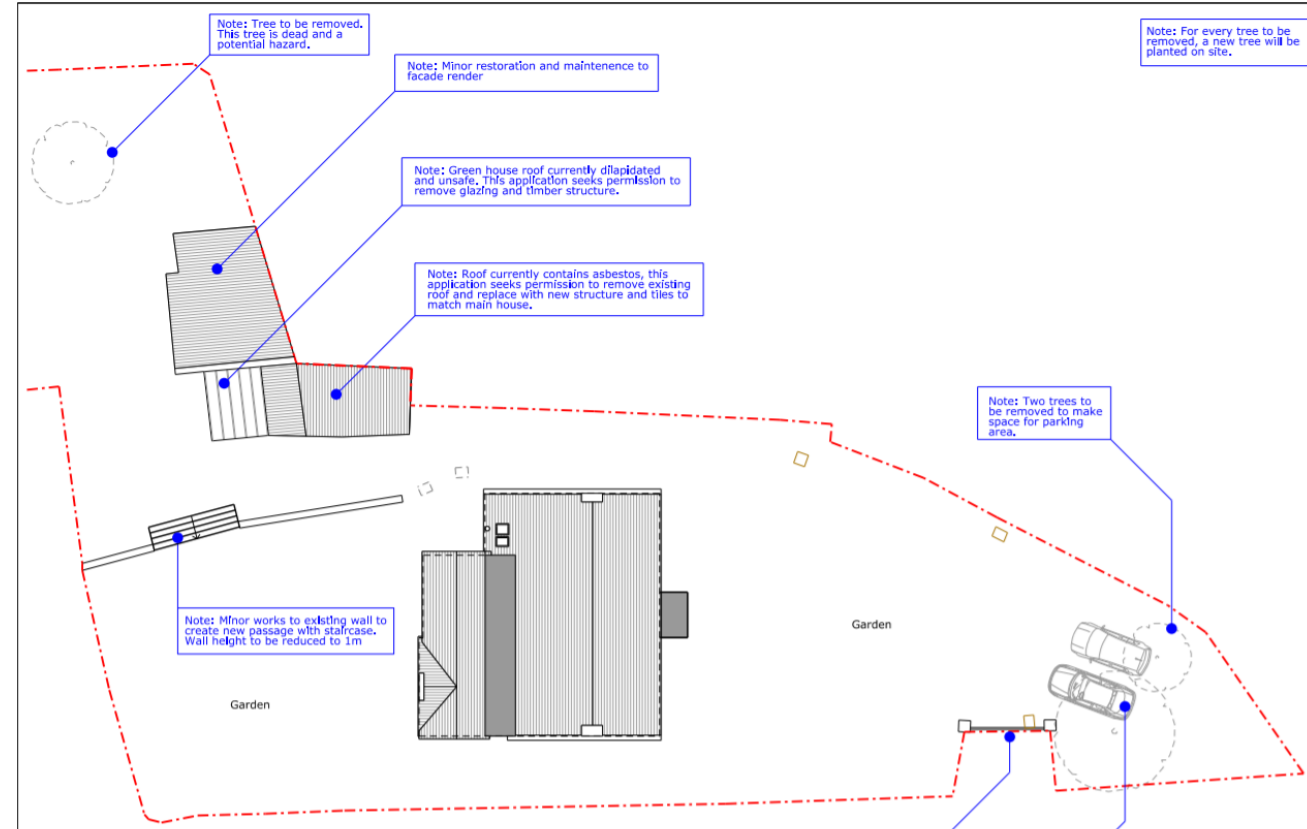


Existing

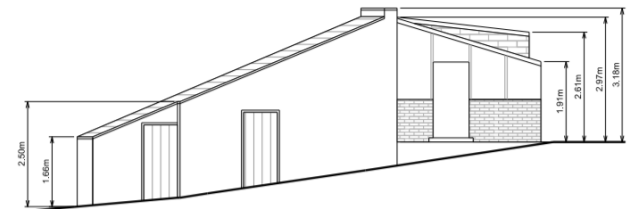


Existing Block Plan

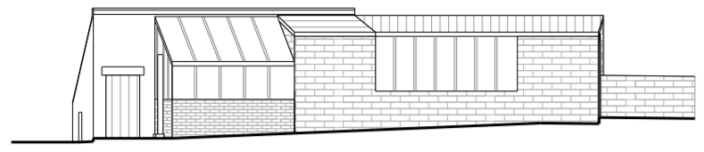
Proposed



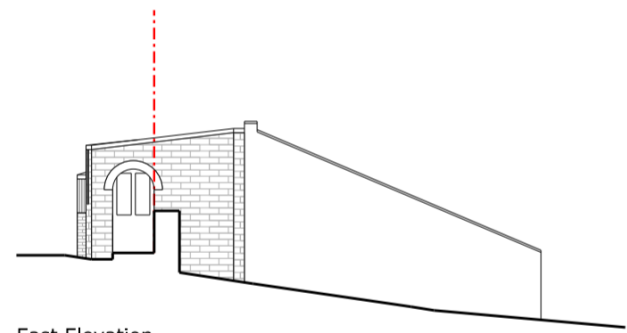
Proposed Block Plan



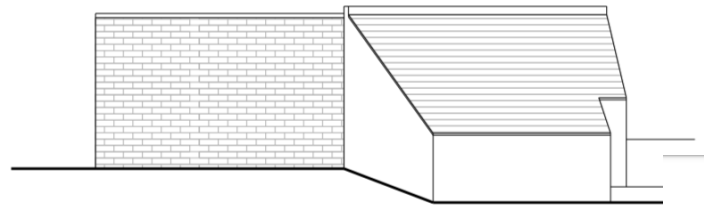
West Elevation



South Elevation



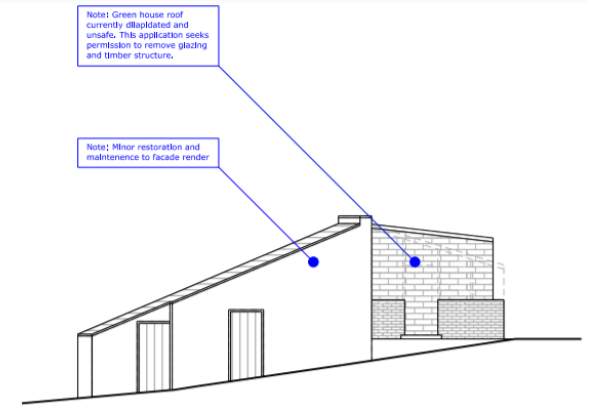
East Elevation



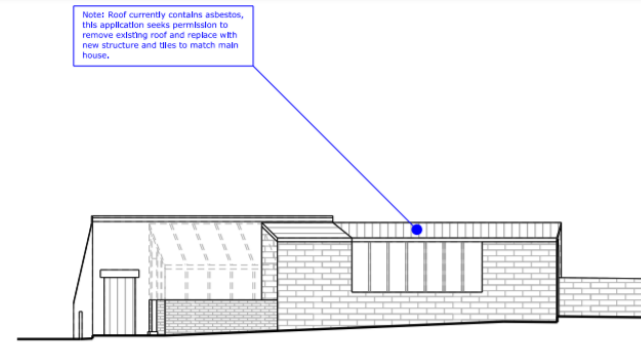
North Elevation

Existing

Proposed



West Elevation

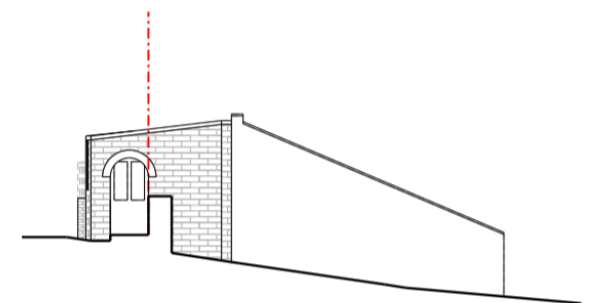


South Elevation

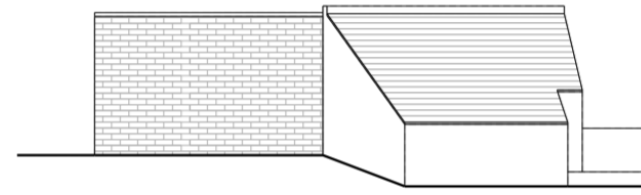
Note: Green house roof currently dilapidated and unsafe. This application seeks permission to remove glazing and timber structure.

Note: Minor restoration and maintenance to facade render

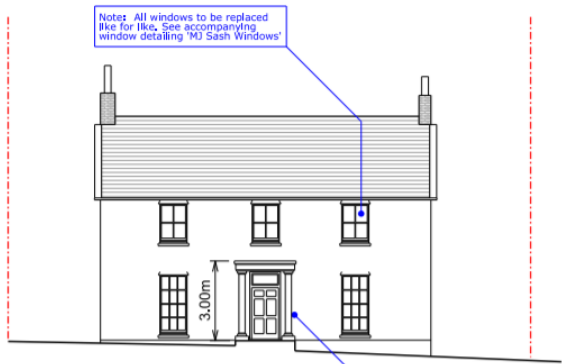
Note: Roof currently contains asbestos, this application seeks permission to remove existing roof and replace with new structure and tiles to match main house.



East Elevation



North Elevation



Front Elevation



Rear Elevation

Note: New stone portico to be installed in original position.



Side Elevation



Side Elevation

Existing



Front Elevation



Rear Elevation

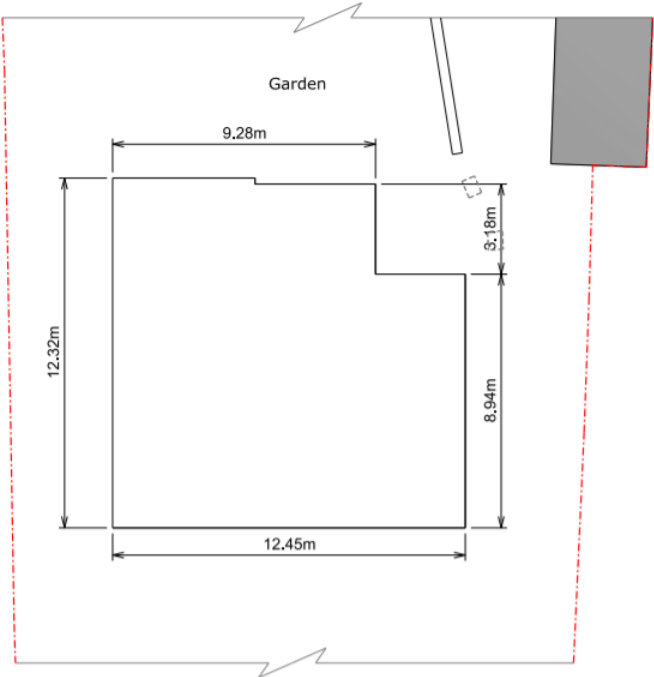
Proposed



Side Elevation

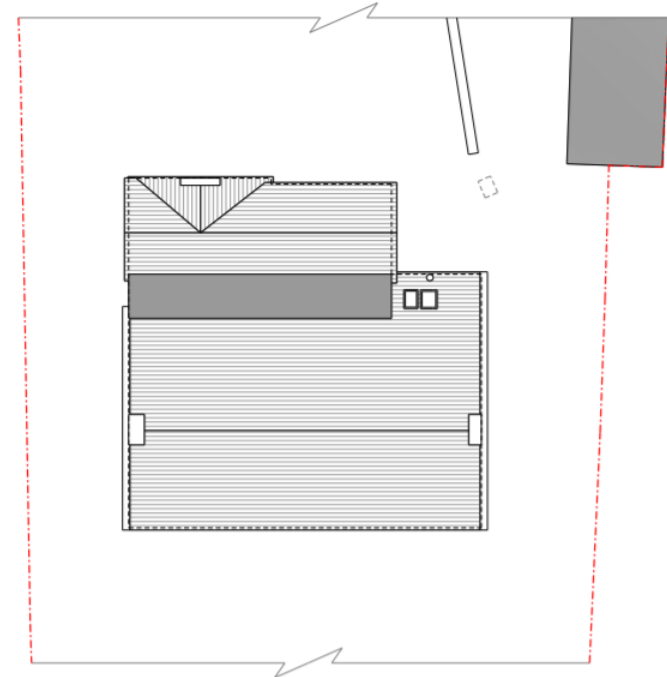


Side Elevation

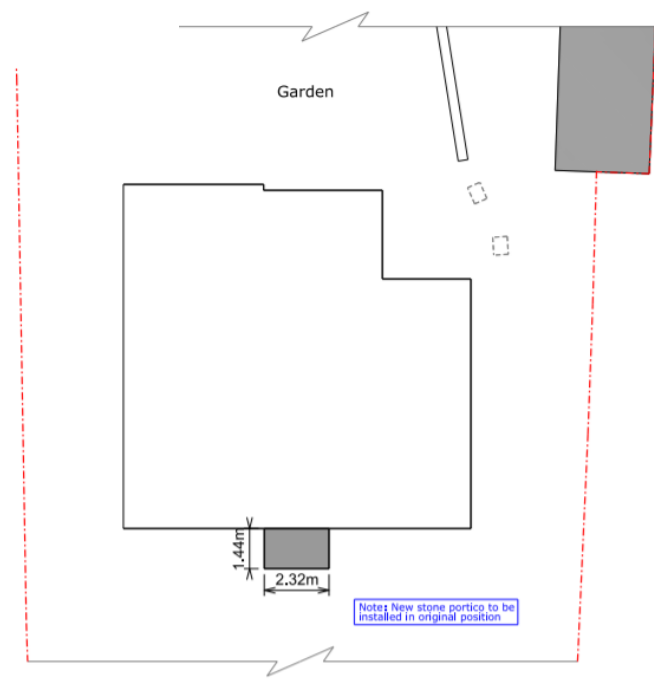


Ground Floor Plan

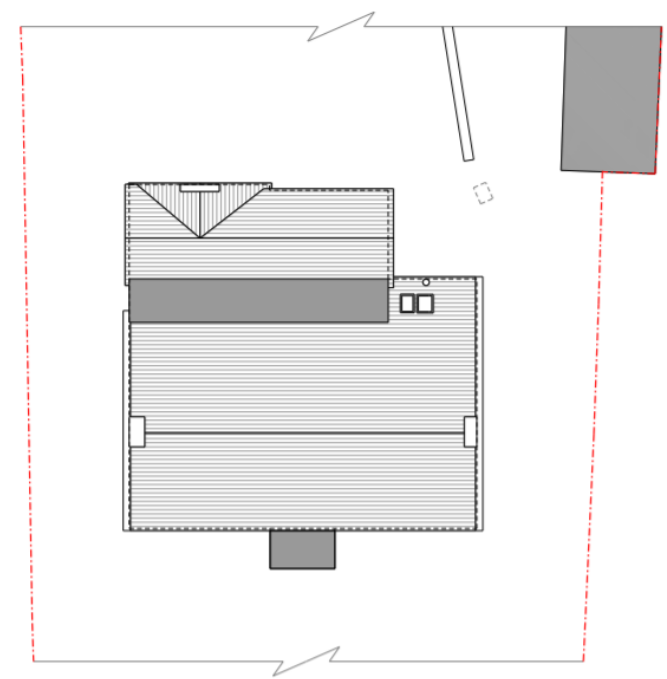
Existing



Roof Plan



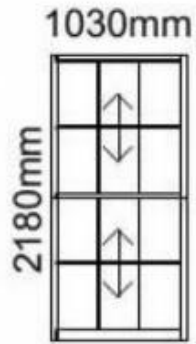
Ground Floor Plan



Roof Plan

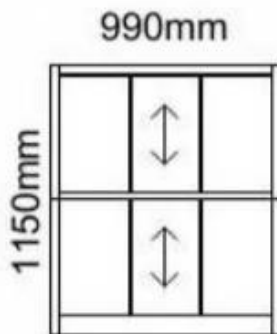
Proposed

Item (sizes)	Description
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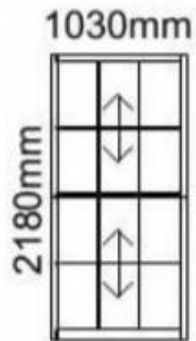
Sliding Sash - (W1)

Living
Traditional Box Sash Window
Traditional Cords - Weights - Brass Fittings - Including Secure Stops
Timber Type: Sapele
4/6/4 Clear Planitherm Krypton Warm Edge Spacer Bar
One coat anti-stain primer - two coats semi gloss top coat - incl end grain sealer.
105.52 kg



Sliding Sash - (W2,3)

Living
Traditional Box Sash Window
Traditional Cords - Weights - Brass Fittings - Including Secure Stops
Timber Type: Sapele
4/6/4 Clear Planitherm Krypton Warm Edge Spacer Bar
One coat anti-stain primer - two coats semi gloss top coat - incl end grain sealer.
114.01 kg



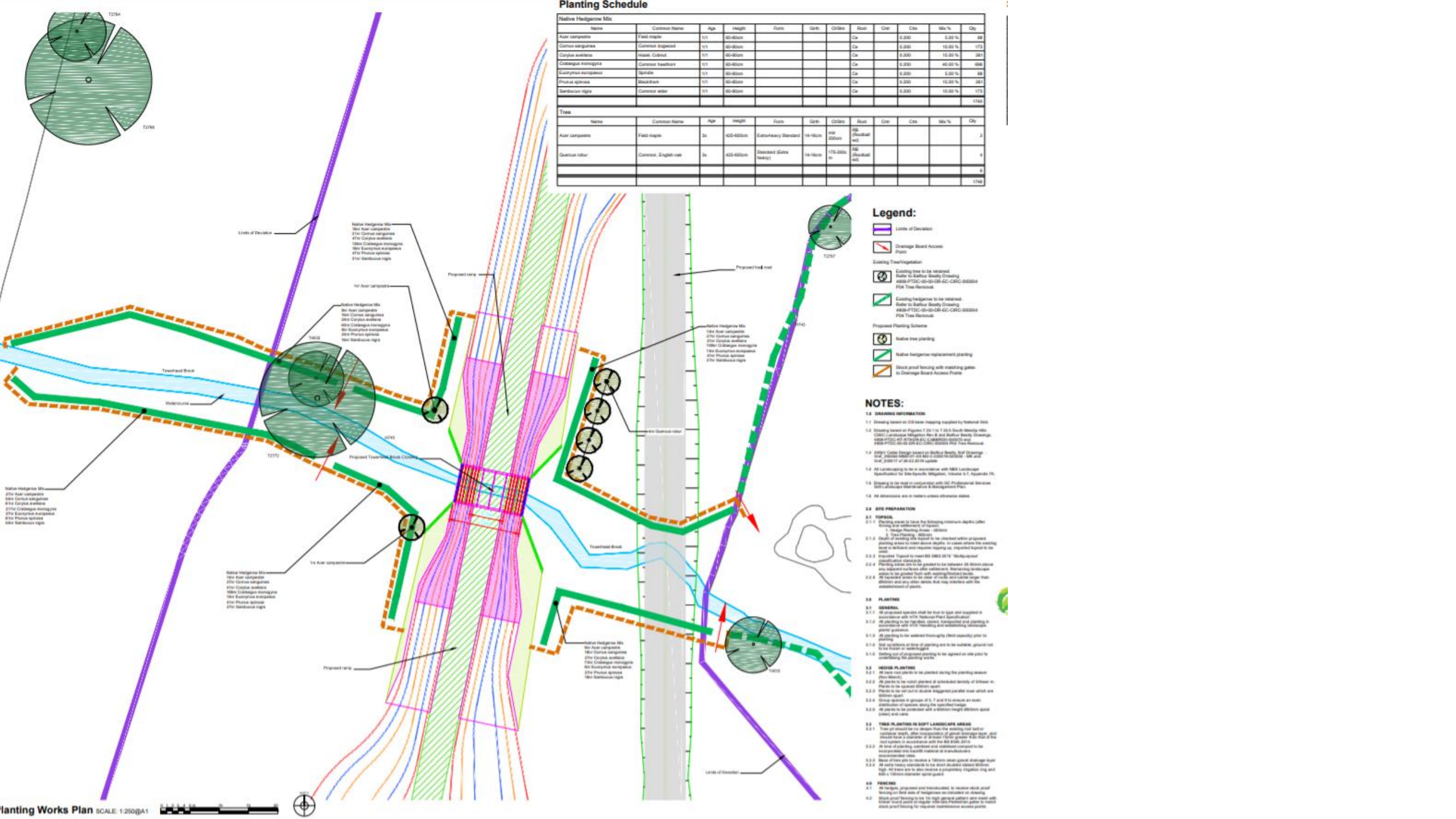
Sliding Sash - (W4)

Playroom
Traditional Box Sash Window
Traditional Cords - Weights - Brass Fittings - Including Secure Stops
Timber Type: Sapele
4/6/4 Clear Planitherm Krypton Warm Edge Spacer Bar
One coat anti-stain primer - two coats semi gloss top coat - incl end grain sealer.
105.52 kg

19/P/1356/DCM & 19/P/1359/DCO - Hinkley Point C Connection Project, Between Bridgwater In Somerset And Seabank Substation, North Of Avonmouth.

Formal submission to discharge Requirement 9(1)(d) (Provision of embedded landscape mitigation and landscape schemes - Towerhead Brook Bridge, for Stage 2.1 of the authorised development) of the National Grid (Hinkley Point C Connection Project) Order 2016 (as Amended).





Planting Schedule

Native Hedgerow Mix												
Name	Common Name	Age	Height	Form	Girth	Grubs	Roots	Crn	Cts	Mix %	Qty	
Acer campestre	Field maple	1Y	60-80cm					Cv	0.200	5.00 %	88	
Cornus sanguinea	Common dogwood	1Y	60-80cm					Cv	0.200	10.00 %	173	
Corylus avellana	Hazel	1Y	60-80cm					Cv	0.200	15.00 %	261	
Crataegus monogyna	Common hawthorn	1Y	60-80cm					Cv	0.200	40.00 %	684	
Eucalyptus nigra	Spruce	1Y	60-80cm					Cv	0.200	5.00 %	88	
Prunus spinosa	Bloodthorn	1Y	60-80cm					Cv	0.200	10.00 %	167	
Sambucus nigra	Common elder	1Y	60-80cm					Cv	0.200	10.00 %	173	
											1764	

Tree												
Name	Common Name	Age	Height	Form	Girth	Grubs	Grubs	Roots	Crn	Cts	Mix %	Qty
Acer campestre	Field maple	2x	400-600cm	Extra-Heavy Standard	14-16cm	no 200cm	no 200cm	RS (Rootball etc)				2
Quercus robur	Common English oak	2x	400-600cm	Standard (Extra heavy)	14-16cm	175-200cm	no	RS (Rootball etc)				4
											6	
											1766	

Legend:

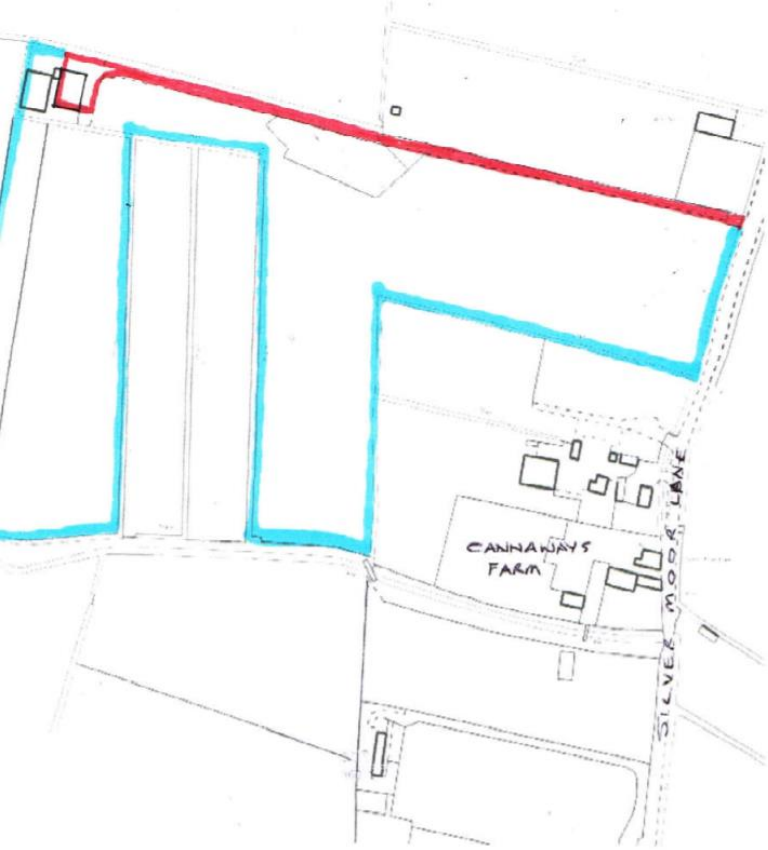
- Levels of Deviation
- Change Board Access Point
- Existing Tree/Vegetation
 - Existing tree to be retained. Refer to Surface Study Drawing 4826-PT02-20-20-00-00-CR-CR0-00000 for Tree Removal
 - Existing hedgerow to be retained. Refer to Surface Study Drawing 4826-PT02-20-20-00-00-CR-CR0-00000 for Tree Removal
- Proposed Planting Scheme
 - Native tree planting
 - Native hedgerow replacement planting
 - Black proof fencing with matching gates to Change Board Access Points

NOTES:

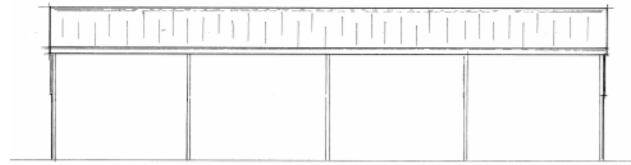
- 1.0 DRAINED INFORMATION**
 - 1.1 Drawing based on OS data being supplied by National Grid.
 - 1.2 Drawing based on Figures 7.20.7 to 7.20.9 South Money Hill, C&L Landscape Hedgerow Plan 4 and Surface Study Drawing 4826-PT02-20-20-00-00-CR-CR0-00000 and 4826-PT02-20-20-00-00-CR-CR0-00000 for Tree Removal.
 - 1.3 4826-PT02-20-20-00-00-CR-CR0-00000 for Tree Removal - see 4826-PT02-20-20-00-00-CR-CR0-00000 for Tree Removal.
 - 1.4 All Landscaping to be in accordance with NBS Landscape Specification for Site-Specific Hedgerow, Volume 3.7, Appendix 10.
 - 1.5 Drawing to be read in conjunction with the Professional Services 001 Landscaping Maintenance & Management Plan.
 - 1.6 All dimensions are in meters unless otherwise stated.
- 2.0 SITE PREPARATION**
 - 2.1 **TOPSOIL**
 - 2.1.1 Existing areas to have the following minimum depths (after stripping and settlement of topsoil):
 - a. Topsoil: 100mm
 - b. Subsoil: 100mm
 - 2.1.2 Depth of existing site to be retained within proposed planting areas to match above depths. In cases where the existing level is deficient and requires topping up, required topsoil to be added.
 - 2.1.3 Topsoil to match BS 1582:2017 'Wedge-profile' classification system.
 - 2.1.4 Planting areas to be prepared to be retained. All areas where any adjacent surface is deficient, retaining landscape area to be planted from soil replacement media.
 - 2.1.5 All topsoil added to be free of rocks and rubble larger than 60mm and any other debris that may interfere with the establishment of plants.
- 3.0 PLANTING**
 - 3.1 **GENERAL**
 - 3.1.1 All proposed species shall be true to type and supplied in accordance with NBS 'Native Plant Specification'.
 - 3.1.2 All planting to be upright, clean, untruncated and planted in accordance with NBS 'Handling and Establishing' and 'Planting' guidance.
 - 3.1.3 All planting to be undertaken thoroughly (check especially prior to planting).
 - 3.1.4 All species at time of planting are to be suitable, ground not to be frozen or waterlogged.
 - 3.1.5 Timing and method of proposed planting to be agreed on site prior to commencing the planting works.
 - 3.2 **WEDGE PLANTING**
 - 3.2.1 All wedge plantings to be planted during the planting season (May-October).
 - 3.2.2 All plants to be hand planted at scheduled density of 100mm x 100mm to be spaced 100mm apart.
 - 3.2.3 Plants to be laid out to include adjacent possible rows which are 100mm apart.
 - 3.2.4 Group species in groups of 5, 7 and 9 to ensure an even distribution of species using the specified layout.
 - 3.2.5 All plants to be protected with a 100mm high plastic guard (black) and cane.
 - 3.3 **TREE PLANTING IN SOFT LANDSCAPE AREAS**
 - 3.3.1 Tree protection to be in place from the working start and completion until other requirements of urban drainage flow and control have been satisfied. All trees to be protected with a 100mm high plastic guard.
 - 3.3.2 At time of planting, guidance and equipment required to be supplied to the contractor at the construction site.
 - 3.3.3 Name of tree pits to include a 100mm deep general drainage layer.
 - 3.3.4 All work heavy materials to be stored at least 100mm high. All trees are to also include a proprietary irrigation ring and 100mm x 100mm diameter apron guard.
 - 3.4 **FENCING**
 - 3.4.1 All hedgerow, proposed and to be retained, to receive black proof fencing on both sides of hedgerow as detailed on drawing.
 - 3.4.2 Black proof fencing to be 1.0m general pattern with main with 100mm high posts of regular 100mm x 100mm plastic gates to match black proof fencing for proposed maintenance access points.

19/P/1397/CQA - Barn at Silver Moor Lane Banwell.

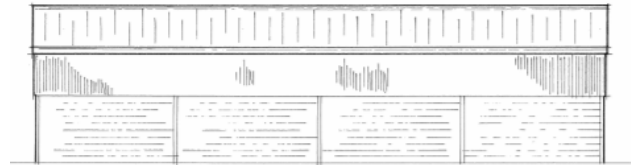
Prior approval for change of use from agricultural building and land to 1no dwelling within use class C3, plus associated operational development comprising installation of replacement walls with new doors and windows.



Existing



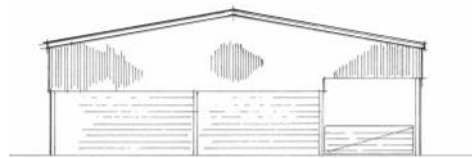
FRONT cement fibre roof over open frontage



REAR cement fibre roof over Yorkshire boarding and blockwork walls



END NORTH Yorkshire boarding over blockwork walls



END SOUTH Yorkshire boarding over blockwork walls

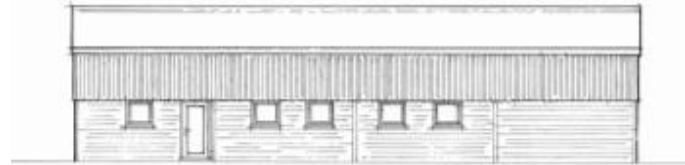
Proposed



FRONT

MATERIAL SCHEDULE

Roof - existing corrugated cement roofing sheets retained
Upper walling - Yorkshire style timber boarding
Lower walling - horizontal timber boarding 'dung walling'
Frames - metal frames colour light Brunswick green
Fascia, barge and rainwater goods - as for frames above



REAR



END

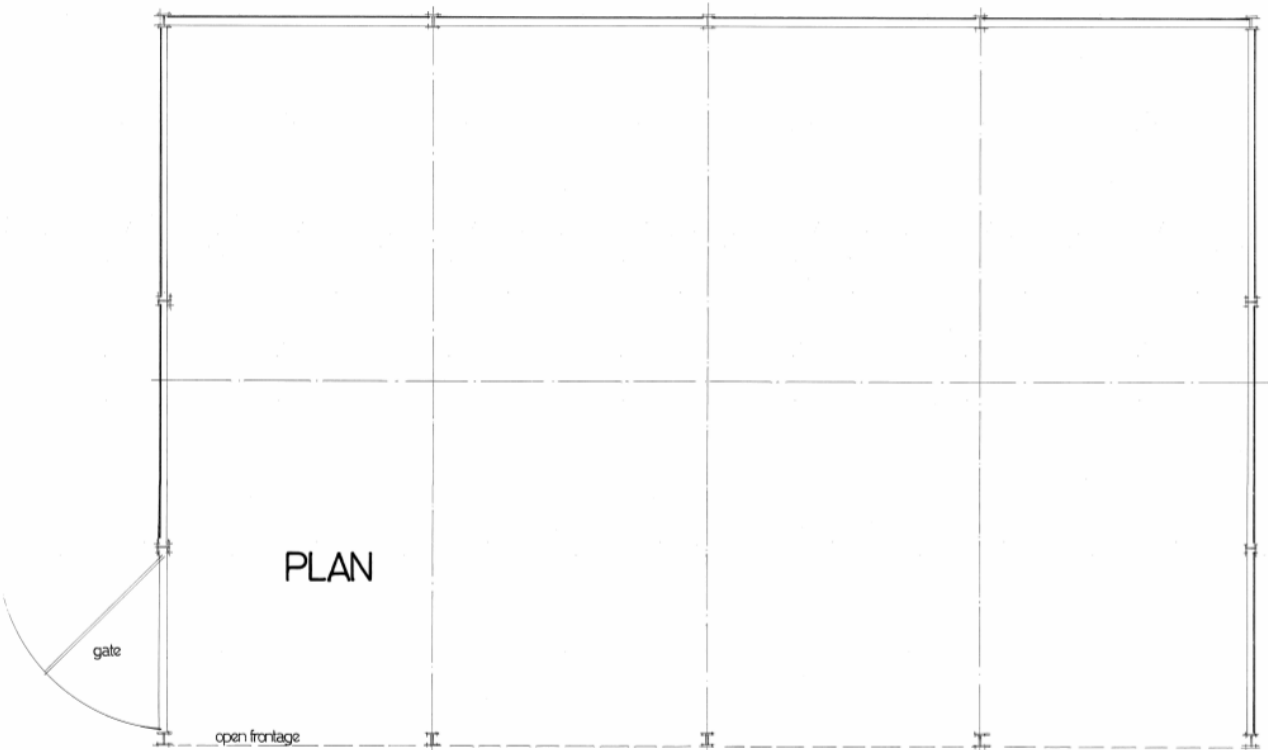


END

Proposed



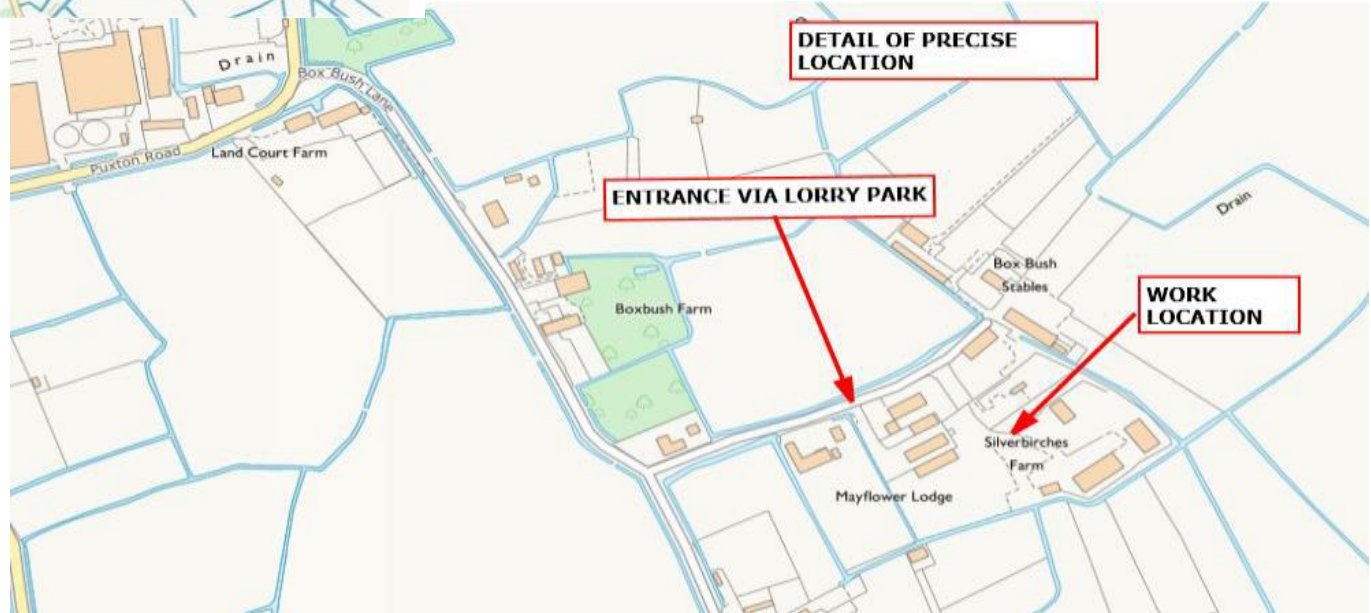
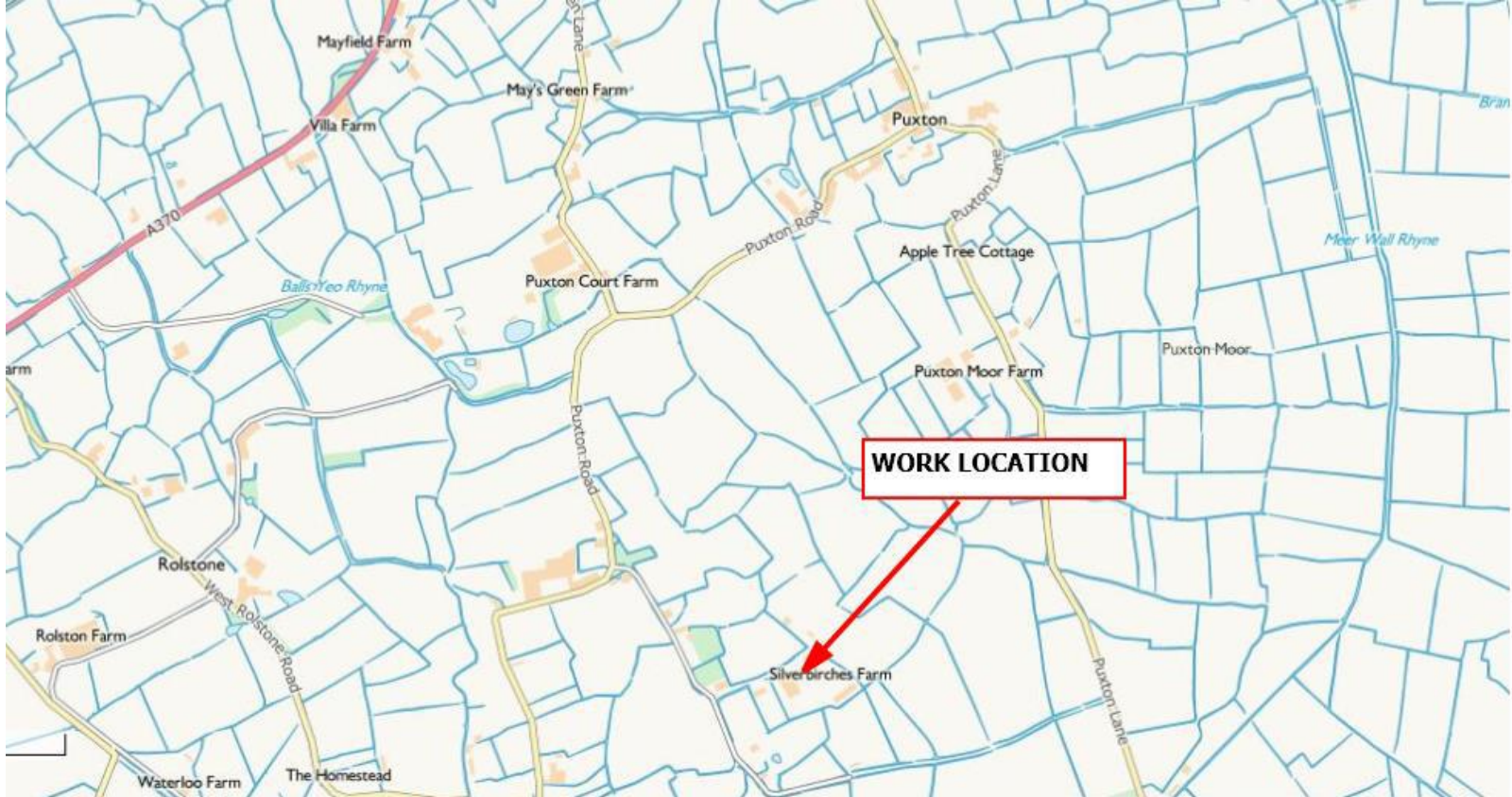
Existing

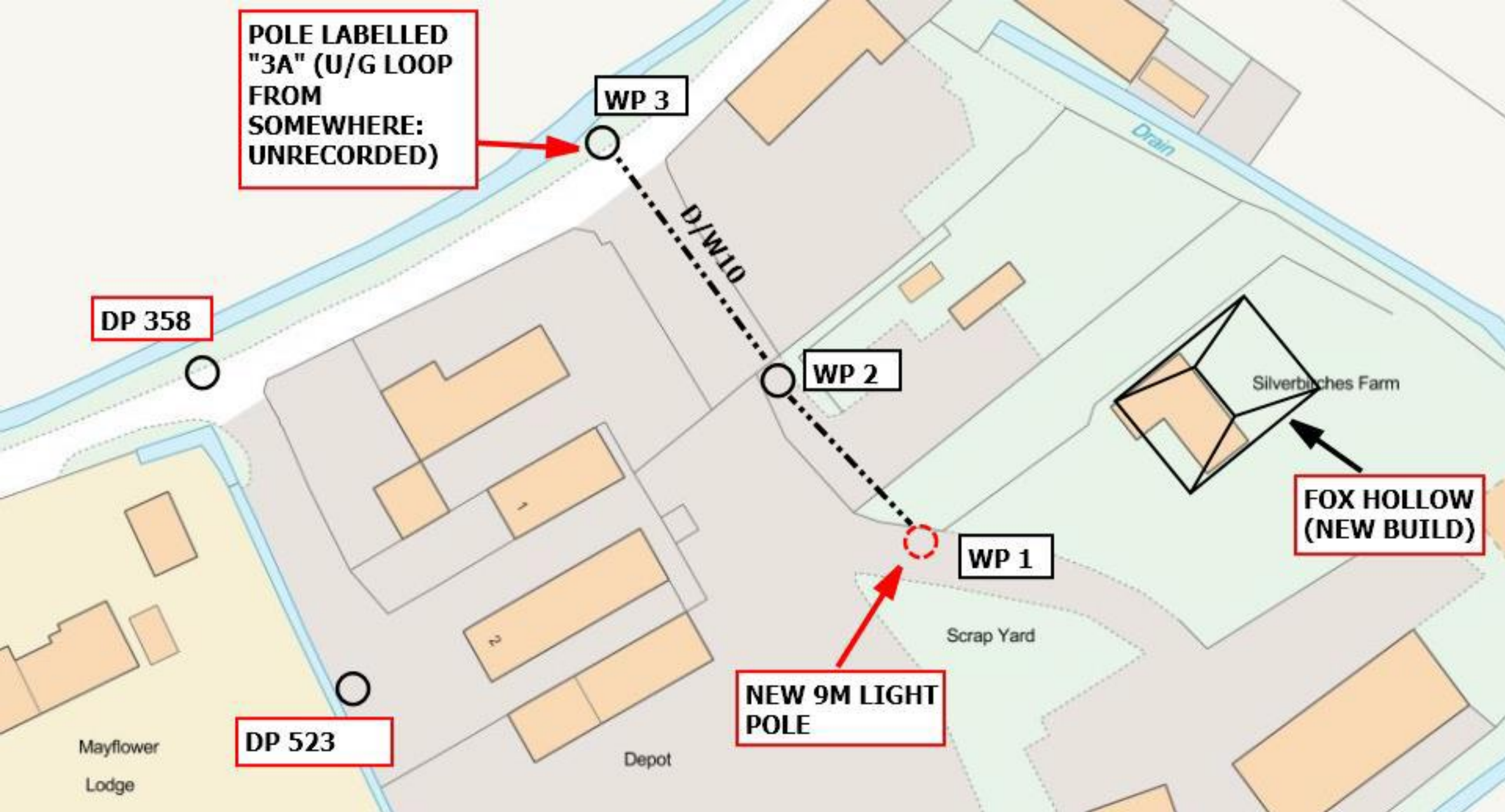


Ground Floor Barn Sub at 56m A.O.D. - Converted FFL 572m A.O.D.

19/P/1400/TEN - Land at Fox Hollow Box Bush Lane
Rolstone Banwell. BS24 6UA.

Notification, under Regulation 5 of the
Electronic Communications Code Regulations,
for the proposed installation of fixed-line
broadband apparatus, 1 x 9m Wooden Pole
(7.20m above ground).





**POLE LABELLED
"3A" (U/G LOOP
FROM
SOMEWHERE:
UNRECORDED)**

WP 3

DP 358

WP 2

Silverbirches Farm

**FOX HOLLOW
(NEW BUILD)**

WP 1

Scrap Yard

**NEW 9M LIGHT
POLE**

DP 523

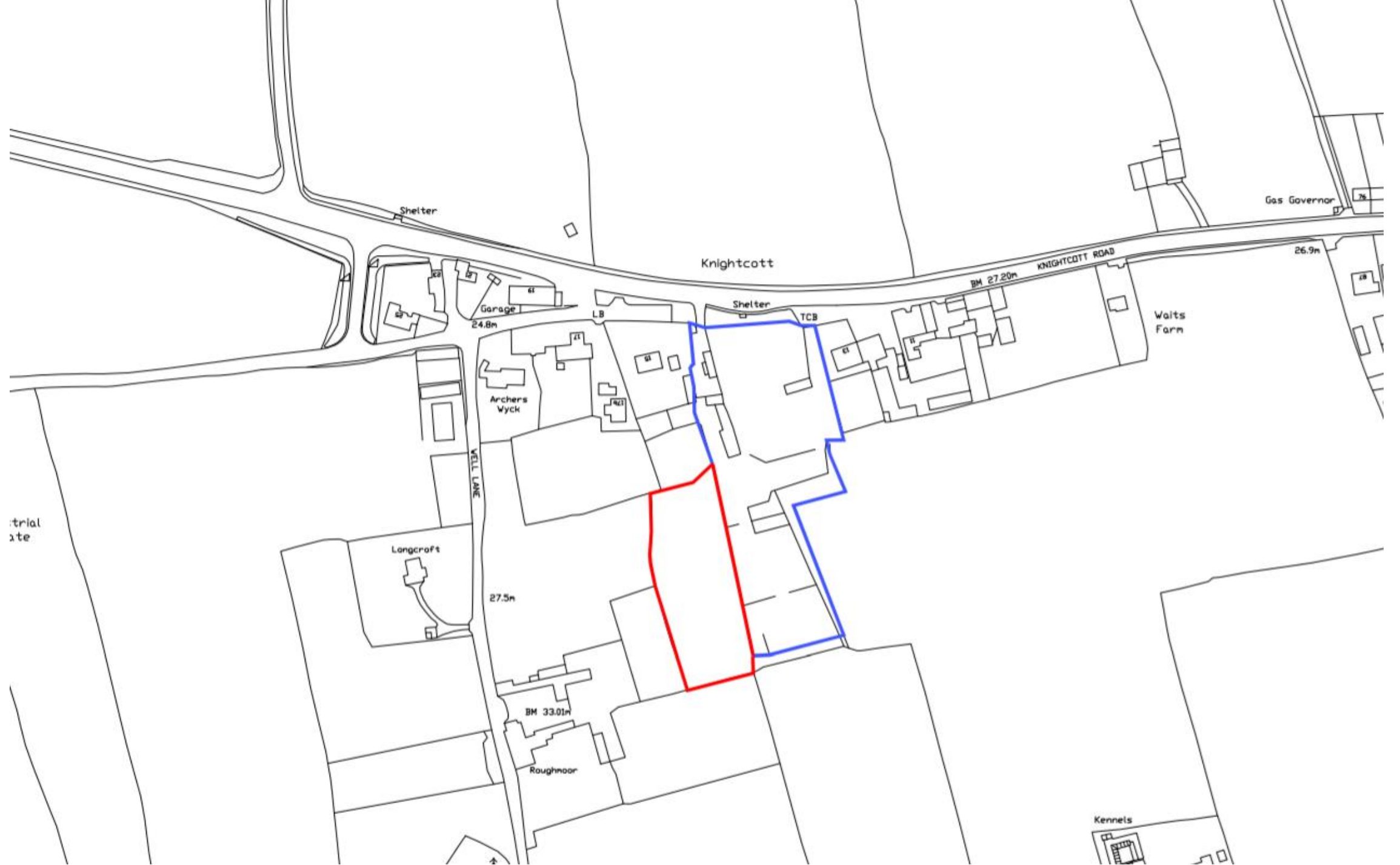
Depot

Mayflower
Lodge

Drain

19/P/1495/ LDE - Western Trade Centre
Knightcott Road Banwell.

Certificate of lawfulness for existing use of the
land as open storage (Use class B8).



18/P/4891/FUL - The Workshop, Moor Road, Banwell, BS29 6EF. Erection of a single storey extension to existing light industrial unit to provide additional operating space. Removal of 3no. existing storage units. **APPROVED**

19/P/0230/RM - Western Trade Centre, Knightcott Road, Banwell. BS29 6HT. Submission of reserved matters of access, layout, scale, appearance and landscaping for erection of 10no. dwellings, following demolition of existing buildings on site pursuant to Outline Approval 15/P/0968/O (Erection of 10no. dwellings, following demolition of existing buildings on site, with all matters reserved for subsequent approval). **APPROVED**

19/P/0314/FUL - Land Off Summer Lane, Banwell. BS29 6LP. Use of land for the stationing of caravans for residential purposes as a single pitch gypsy/traveller site and the erection of a day room building ancillary to that use. **REFUSED**

19/P/0355/FUH & 19/P/0356/LBC - Stuntree Farm, West Rolstone Road, Hewish, Weston-super-Mare, BS24 6UR. Refurbishment of dwelling- works to include internal works; 2no. conservation roof lights; replacement of a number of windows and doors; Lime render to North and East elevations; repair/ reconstruction of boundary walls; new entrance gates, piers and boundary wall. Demolition of pigsty and reuse of materials. **APPROVED**

19/P/0357/FUL - Stuntree Farm, West Rolstone Road Hewish, Weston-super-Mare, BS24 6UR. Retrospective change of use application for use as a vehicle compound. **REFUSED**

19/P/0408/FUL - Land To South Of Silver Moor Lane (A370 End Of Lane) Banwell. Creation of new vehicle access to field. **APPROVED**